

Land Information Memorandum

Issued under Section 44A of the Local Government Official Information & Meetings Act

LIM Number: L260163

Applicant details – Prepared for:

Name: Ruth Vaega
Address: 71 Snodgrass Road
RD 2
Westport 7892

Email: ruth@vaega.nz
Client Reference: n/a

Application date: 13/07/26
Issue Date: 21/07/26

Location: 71 Snodgrass Road, Westport
Valuation No. 1884012200
Legal Description Sec 1 Orowaiti Blk III Kawatiri SD
Owner VAEGA Ruth Lilian
Area (hectares) 0.1161

Land \$ 130,000
Capital Value \$ 420,000
Improvements \$ 290,000

Date of valuation 1 September 2023

Disclaimer

1. This Land Information Memorandum (**LIM**) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (**LGOIMA**). It is for the LIM applicant only and cannot be relied on by anyone else.
2. This LIM includes information about the land which is required by section 44A(2) LGOIMA. Information provided under s 44A(2)(a) has been provided in good faith.
3. This LIM may also include information about the land which Buller District Council considers, at its discretion, to be relevant. Such information is provided under section 44A(3) LGOIMA.
4. The information provided in this LIM is based on a search of Council records only. Care has been taken to ensure the information provided is accurate but does not accept any liability for errors in its records, or for any errors in the presentation of information from these records.
5. There may be other information relating to the land which is known to Buller District Council but not included in this LIM because it is not required under section 44A LGOIMA (for example, information in the Buller District Plan which does not relate to natural hazards).
6. This LIM does not include information that is held by other statutory/ government agencies but not known to Buller District Council at the time this LIM was applied for.
7. Council has not inspected the land or any buildings for the purpose of preparing this LIM. Council records may not show illegal or unauthorised building works on the land.
8. Some information in this LIM may have been provided to Buller District Council and/ or summarised by another statutory agency (such as West Coast Regional Council). Buller District Council is not able to verify or guarantee the correctness of that information and does not accept any liability for its accuracy.
9. The applicant is solely responsible for ensuring the land is suitable for a particular purpose.

Gail Dickson

**LIMS & PLANNING SUPPORT OFFICER
BULLER DISTRICT COUNCIL**

Property Location Map: 71 Snodgrass Road, Westport



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Section 1 Natural Hazards and Special Features or Characteristics of the Land

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Sections 44A (2)(a) and 44 (2)(aa) LGOIMA

Information about natural hazards that is required by [section 44B](#); and
Information about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants, that—

- (i) is known to the territorial authority; but
- (ii) is not apparent from a district plan under the [Resource Management Act 1991](#):

Natural Hazards

Te Tai o Poutini/the West Coast region is subject many natural hazards; river flooding, coastal erosion, coastal inundation and land instability; the impact of these natural hazards is likely to be exacerbated by climate change including sea level rise over the lifetime of this Plan. There is also natural hazard risk from earthquakes.

A natural hazard is defined in the RMA as "any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment".

Refer also to West Coast Regional Council for coastal policy statements and plans.

Publicly available Natural Hazard Reports are held by West Coast Regional Council (WCRC) and can be accessed by the following link: <https://www.wcrc.govt.nz/publications/natural-hazard-reports>

Natural Hazard Area as is Apparent from a District Plan under RMA1991

This property is identified as being in a natural hazard area as known to the territorial authority and is apparent from a district plan under the Resource Management Act 1991 (Te Tai o Poutini Plan – Decisions Version) as being in within the Westport Hazard Overlay.

Building Work in Natural Hazard areas

It should be noted that where a building consent is issued under sections 72-73 for new construction or major alteration to buildings on the part of the land affected by natural hazards Council must notify the District Land Registrar that a building consent has been issued under that provision. The District Land Registrar will then make an entry on the Record of Title. This requirement is mandatory, and the Council cannot exercise any discretion. The costs associated with endorsing the title are payable by the applicant. Council can refuse to grant a building consent in some circumstances, or it can grant consent subject to conditions under Section 72 of the Building Act 2004.

When planning building works it is important to consider any natural hazards that may affect how the project complies with the Building Act 2004 and the New Zealand Building Code. Natural hazards include erosion (including coastal, bank, and sheet erosion), falling debris (including soil, rock, snow, ice); subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, ponding), slippage, wind and earthquakes (including liquefaction).

Property owners are advised that they should discuss the ramifications of building on hazardous land with their insurance company and the Earthquake Commission. Further information on building on hazardous land is provided in [Appendix I](#). Te Tai o Poutini Plan Natural Hazard Policies/Objectives and Rules provided in [Appendix I](#). (Note: This section is currently under appeal)

Building Act 2004

As this property is located within a known hazard area (inundation), for any new or major work that requires building consent, the conditions of consent may require the Record of Title to be endorsed with Land Information New Zealand pursuant to Section 72 of the Building Act 2004.

Refer to conditions pertaining to building consent BC180152 in [Appendix III](#) for information regarding section 71-73 Building Act 2004. As this building consent for alterations to raise the dwelling above the last known flood level to comply with E1.3.2 the record of title was not endorsed in this instance.

West Coast Regional Council – Natural Hazard Information

Natural hazard information can be found on West Coast Regional Council's (WCRC) Natural Hazards page <https://www.wcrc.govt.nz/environment/land/natural-hazards>. Information provided includes that for:

- Coastal hazards (Coastal Inundation and Coastal Erosion Projections);
- Earthquake hazards (liquefaction and active faults);
- Landslide Hazard (Landslide Debris Inundation Risk);
- River Flood Hazards (Flood Inundation, Breach Scenarios); and
- Tsunami hazards (Tsunami Evacuation Zones).

Natural Hazard mapping:

WCRC's West Coast Natural Hazards Portal provides further information along with maps identifying the hazards and area affected.

Note that Hazard information provided on the site is indicative only and derived from regional-scale assessments and modelling using the best data available at the time. The information does not necessarily represent the full extent of past or future hazard events.

WCRC Natural Hazard Reports:

Some hazard reports are noted within this section (Section 1), other publicly available Natural Hazard Reports are held by West Coast Regional Council (WCRC) and can be accessed through the WCRC's Natural Hazards Portal:

<https://experience.arcgis.com/experience/5a909213218540f9ada169446453653b>

Refer also to West Coast Regional Council for coastal policy statements and plans.

Coastal Inundation and Coastal Erosion

This property is located within a Coastal Hazard Area (CHA 4) in a report prepared by NIWA for WCRC in February 2022 "Review of West Coast Region Coastal Hazard Areas – Version 2".

Coastal erosion is a natural hazard and is occurring along the West Coast. Various reports have been prepared for the West Coast Regional Council (WCRC) to aid the decision-making processes associated with ongoing erosion problems. The advice relates to ongoing coastal erosion issues along the frontage and options for coastal defence structures aimed at protecting residential land and property.

Review of West Coast Region Coastal Hazard Areas Version 2

Prepared for west Coast Regional Council by Richard Measures and Helen Rouse NIWA), February 2022

Scope of Report: The West Coast Regional Council (WCRC) is undertook a review of its Regional Coastal Plan, which was made operative in 2000. As part of this, WCRC undertook the opportunity to review the 18 Coastal Hazard Areas (CHAs) identified in Schedule 3.3 of the Regional Coastal Plan.

The scope of the CHA review involves determining: ▪ Whether the current CHAs should stay the same (that is, if there are no changes to the area or the hazard risk); ▪ Whether any of the CHAs need to be removed (that is, if there is no longer a hazard threat), or changed in size or location; ▪ Whether any new hazard areas need to be added; and ▪ If possible, whether the hazard risk is low, medium or high, having regard to the criteria in Policy 24 on the New Zealand Coastal Policy Statement 2010. This report details the outcomes of this CHA review, undertaken using a combination of literature review and virtual and actual site visits. 26 CHAs are recommended, which include some existing CHAs, some new CHAs, and some where boundaries (lateral extent along the coast) have been altered.

Link:

<https://www.wcrc.govt.nz/repository/libraries/id:2459ikxj617q9ser65rr/hierarchy/Documents/Publications/Natural%20Hazard%20Reports/West%20Coast/Review%20of%20West%20Coast%20Region%20Coastal%20Hazard%20Areas%20%28NIWA%20to%20WCRC%202022%29.pdf>

The areas for which this hazard has been identified are general in nature. This advice note is intended to highlight the existence of this hazard. Further investigations may be needed to be undertaken on a case-by-case basis, prior to any building work being authorised in this area.

In response to concerns about coastal erosion on the West Coast, advice sheets have been developed for the West Coast Regional Council by NIWA. Further information may be obtained from the West Coast Regional Council either through their website www.wcrc.govt.nz or freephone 0508 800 118.

Coastal hazard information including coastal inundation and coastal erosion projections mapping can be found on WCRC's Natural Hazards Portal:

<https://experience.arcgis.com/experience/5a909213218540f9ada169446453653b/page/Coastal-Hazards>

Further information on building on hazardous land and CHA 3 is provided in [Appendix I](#).

River Flooding / Inundation

West Coast Regional Council (WCRC) information indicates that Westport is located within an area susceptible to flood inundation which is a natural hazard. This site is also contained within the Westport Hazard Overlay of the Te Tai o Poutini Plan.

Natural hazard reports on the Buller District are available on the West Coast Regional Council's website [Natural Hazard Reports - West Coast Regional Council](#) including but not limited to:

Buller River Detailed Options Assessment (Flood Mitigation Options Assessment)

Prepared for WCRC by Matthew Gardner, LandRiver Sea Consulting Ltd, August 2015

Purpose of report: The existing hydraulic model of the Buller River has been refined and used to assess a range of flood mitigation options for Westport.

Link: [Buller River](#)

Environmental Impacts from Accumulation of Buller River Sediment Orowaiti Estuary (Envirolink report 2514-WCRC216)

Prepared for WCRC by Professor Ian Fuller, June 2025

Purpose of report: Over at least the last 80 years, significant seaward advance of the Westport shoreline east of the Buller mouth has forced the outlet of the Orowaiti River eastwards by over 3 km, towards the confluence of Deadmans Creek and Black Creek. This has adversely impacted the local community and biodiversity/coastal wetland setting through erosion of the landward estuary shore. This report provides a high level geomorphic study of changes to the coastal environment over time, along with likely future development and recommendations for mitigation of flood and erosion risk, using the PARA framework.

Link: [Environmental impacts from accumulation of Buller River sediment Orowaiti Estuary \(Envirolink report for WCRC, Fuller, 2025\).pdf](#)

Buller River Update of Hydraulic Model

Prepared for WCRC by Matthew Gardner, LandRiver Sea Consulting Ltd, December 2017

Purpose of report: In 2017, the West Coast Regional Council has requested a formal review of the model so that the flood maps can be published and formally adopted. This report outlines the changes which have been made to the model as a result of the peer review and provides reasoning for why some changes have not been carried out. Updated flood maps based on the changes have also been produced for all scenarios presented in the original modelling report.

Westport – Flood Forecasting Roadmap for Evacuation Warnings

Prepared for WCRC by Maurice Duncan, Celine Cattoen, Richard Measures, Trevor Carey-Smith of NIWA, June 2019

Purpose of report: This report explores the feasibility of implementing a floodforecasting system capable of provide accurate prediction of flooding with an 8-hour lead time.

Nature Based Solutions for Flood Management

Prepared for Envirolink, by James Griffiths, Annette Semandeni-Davies, Karine Borne, Chris Tanner of NIWA, June 2024

Purpose of report: This review, independently commissioned by the Ministry of Business, Innovation and Employment (MBIE), was undertaken to inform 21 flood mitigation feasibility studies being undertaken by 15 regional or unitary councils. The aim of the review was to provide an up-to-date and in-depth analysis of the existing literature, case studies, and best practises related to the use of nature-based approaches for mitigating and managing fluvial floods.

Link: [NIWA Client report](#)

Further information may be obtained from the West Coast Regional Council on 0508 800 118 or www.wcrc.govt.nz.

Access to Rainfall and River Data (flood monitoring) is available on WCRC's website:

<https://www.wcrc.govt.nz/services/flood-monitoring>

Westport Flood Protection

Flood Protection centres on building floodwalls and stopbanks with the aim of protecting Westport in the event of significant future flooding events. This is the largest project being undertaken by Resilient Westport and is being led by West Coast Regional Council (WCRC).

The overall aim is to deliver structural mitigation works to prevent direct threats from both the Buller and Orowaiti rivers. These are caused by flooding generated upstream in the Buller catchment and from coastal inundation, particularly via the Orowaiti Lagoon. The project is funded via contributions from central government and the West Coast Regional Council.

The current plan involves a combination of earth stopbanks, 'planter-box' stopbanks, concrete floodwalls, wooden floodwalls, and portable flood barriers. The total length will be around 16km. The heights of the flood protection structures will generally be around 2 metres, with a maximum height of 3.6 metres.

The work will be designed generally to provide 1% Annual Exceedance Probability with climate change under RCP6.0 (based on NIWA advice). A 1% AEP flood has a 1 in 100 chance of occurring in any given year.

It is also designed with a 600mm freeboard allowance in relation to the floodwalls. Freeboard is an engineering provision for estimating accuracy and other factors that vary from time to time, including the impacts of debris blockage, waves, wind and riverbed aggradation.

The scheme is divided into five main stopbanks:

[Lower Orowaiti](#), [Upper Orowaiti](#), [North End](#), [Lower Buller \(Wharf to Buller Bridge\)](#) and [Upper Buller \(SH67 from Buller Bridge to Nine Mile Road\)](#).

Within that, there are approximately 20 sub-sections of flood protection including smaller banks like Cats Creek and a portable barrier, for the Floating Lagoon area (North End).

In addition, stopbanks are planned for Carters Beach and Snodgrass Road. Carters Beach and Snodgrass Road are not covered by the Resilient Westport government funding, so this work is likely to come from local share (WCRC) and pledged donations. Carters Beach and Snodgrass Road are not covered by the Resilient Westport government funding, so this work is likely to come from local share (WCRC) and pledged donations.

A Westport Flood Protection Scheme map detailing the location of the proposed stopbanks is provided in [Appendix I](#).

For further information contact Resilient Westport or West Coast Regional Council, or visit their websites at: <https://www.resilientwestport.co.nz/> and <https://www.wcrc.govt.nz/publications/natural-hazard-reports>

Buller River 100 year ARI 5% Blockage RCP 6 Flood Model map

Map modelling is from WCRC provided by Matthew Gardner, LandRiver Sea Consulting Ltd. This is a model of a theoretical flood which has not happened yet.

- The Average Recurrence Interval (ARI) is the average time between floods of a certain size (in this case 100 years).
- 5% Blockage = At the Buller River bridge the model reduces the clear area under the bridge by 5 % to simulate blockage due to debris.
- Representative Concentration Pathway (RCP) in the map refers to: Different RCP numbers represent various potential future greenhouse gas concentrations, based on how human society responds to climate change. RCP6.0 is an intermediate scenario, and projections using this pathway are often considered in New Zealand for modelling the effects of climate change on river hydrology.
- This model takes into consideration river flooding and sea inundation and uses the highest values from both scenarios.

Buller 100 year ARI map is provided in [Appendix I](#).

2021 Westport Flood Depth

Map modelling is from WCRC provided by Matthew Gardner, LandRiver Sea Consulting Ltd. This model is the actual 2021 Buller River flood event. Flood levels information was provided by CJ Coll Surveying Ltd along with photos on the day, and aerials taken on the day.

2021 Flood map model included in [Appendix I](#).

Earthquake Hazards (Liquefaction – Faults)

Earthquake hazard information including liquefaction and active faults mapping can be found on WCRC's Natural Hazards Portal:

<https://experience.arcgis.com/experience/5a909213218540f9ada169446453653b/page/Earthquake-Hazards>

Liquefaction map for the area provided in [Appendix I](#).

Buller District Council Lifelines Study – Alpine Fault Earthquake Scenario

Prepared for Buller District Council by Ian McCahol, Rob Dewhirst, David Elms (West Coast Engineering Lifeline Group), June 2006

Scope of Report: The aim of the report is to raise issues and make recommendations as to what should be done to make the Council and hence the community better able to withstand the effects of a major earthquake disaster and to recover from it more effectively.

Link:

<https://www.wcrc.govt.nz/repository/libraries/id:2459ikxj617q9ser65rr/hierarchy/Documents/Publications/Natural%20Hazard%20Reports/Alpine%20Fault/Buller%20District%20Council%20Lifeline%20Study%20June%202006.pdf>

West Coast Regional Liquefaction Assessment

Prepared for WCRC by Sarah Barrett of Beca, November 2021

Purpose of report: Beca Ltd has been commissioned by the West Coast Civil Defence and Emergency Management Group (CDEM) to undertake a regional liquefaction assessment for the West Coast region in accordance with a 'Level A' Basic Desktop Assessment as per the Ministry for the Environment/Ministry of Business, Innovation and Employment (MfE/MBIE, 2017) 'Planning and engineering guidance for potentially liquefaction-prone land' guidance. The assessment is intended to identify areas where 'Liquefaction Damage is Possible' and which therefore warrant further assessment to support land use planning and development. The 'Level A' assessment is considered sufficient for the assessment of regional liquefaction hazards as required under the RMA and November 2019 updates to the Building Code.

Link:

https://www.wcrc.govt.nz/repository/libraries/id:2459ikxj617q9ser65rr/hierarchy/Documents/Publications/Natural%20Hazard%20Reports/West%20Coast/2021_BECA_WC%20Regional%20Liquefaction%20Assessment.pdf

New building sites are required to have a site assessment and foundations designed to meet the Building Code and relevant engineering standards. Information for affected areas can be accessed by the link below:

https://www.wcrc.govt.nz/repository/libraries/id:2459ikxj617q9ser65rr/hierarchy/Documents/Publications/Natural%20Hazard%20Reports/West%20Coast/2021_BECA_WC%20Regional%20Liquefaction%20Assessment.pdf

Landslide Hazard - Land Instability

No information located related to this specific property. Landslide hazard information including landslide debris inundation risk mapping can be found on WCRC's Natural Hazards Portal:

<https://experience.arcgis.com/experience/5a909213218540f9ada169446453653b/page/Landslide-Hazards>

Tsunami Evacuation Zone

All of New Zealand's coast is subject to tsunami hazard. Evacuation maps are intended to act as a guide for residents of what areas could be affected should there be a threat of tsunami and are for information only. Tsunami information including Tsunami Evacuation Zone mapping can be found on WCRC's Natural Hazards Portal:

<https://experience.arcgis.com/experience/5a909213218540f9ada169446453653b/page/Tsunami-Hazards>

A Tsunami Evacuation Zones map is provided in [Appendix I](#).

Advice from (NZ) Civil Defence getready.govt.nz describes the colours displayed on the map as being:

Red: This area could be affected even by a small tsunami. It typically covers beach and marine areas and is the most likely area to be evacuated in a tsunami event.

Orange: This area could be affected by a large tsunami.

Yellow: This area could be affected by a very large tsunami.

Severe Weather Events

16-18 July 2021 and February 2022

Severe weather events affected the Buller District on 16-18 July 2021 and February 2022 resulting in flooding of land and buildings in parts of the District. Council's records indicate that there was ingress on the property in the 2021 event however dwelling was not affected in either event.

1 February 2018

The dwelling was affected in Cyclone Fehi, 01/02/18 by inundation following a storm surge. Inspected 2/2/18. The dwelling was issued a red placard for inundation 200mm inside & 1m outside. Inspected on 15/3/18 and cleared for re-lining as moisture levels between 14-18%.

A building consent BC180152 was subsequently issued to raise the foundations with braced piles. The dwelling was not affected in next major flood events.

For the severe weather events noted above the placard assessment criteria was based on the level of inundation above the floor level as follows:

- Red Placard: Based on the dwelling suffering major flood damage with water levels exceeding 300mm (possibly over low-level power sockets) and causing the dwelling loss of function for a longer period and tenants requiring long term accommodation.
- Yellow Placard: Based on flood water up to 300mm but below power sockets and whether occupants may have to stay.
- White Placard: Not affected.

Hazardous Activities and Industries List (HAIL) and Sites Associated with Hazardous Substances (SAHS)

As part of the West Coast Regional Council's strategy for managing land, the Regional Council, along with all other regional councils in New Zealand, has a register of sites that have, or may have been used for activities that pose a risk of causing contamination through the storage, use, transfer or disposal of hazardous substances. Inclusion on this database does not always mean that the site is contaminated. It may mean that the site has been associated with hazardous substances at some time in the past.

The fact that an activity or industry appears on the HAIL does not mean that hazardous substances are used or stored on site. Nor does it mean that a site used by that industry will always have hazardous substances present in the land. The list just highlights that there is a greater probability of site contamination occurring than for other uses or activities. The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 may apply to particular land uses or subdivisions for properties that have or have had an activity on the site that could be associated with the HAIL.

- This property is not listed on the West Coast Regional Council's SAHS database.
- Council is currently not aware of any information relating to HAIL activity or potential soil contamination for this site.

See [Appendix I](#) for further information regarding the HAIL or contact the Council's Duty Planner planning@bdc.govt.nz.

Special Features or Characteristics of the Land

Durability Zones

This information is indicative only, for further information on BRANZ interpretation of the exposure zones in NZS 3604:2011 refer to <https://www.branz.co.nz/branz-maps-zones>. NZ Standards information can be found at <https://www.standards.govt.nz>.

Earthquake Zone

This property is within Earthquake Zone 3. Bracing Design map provided in [Appendix I](#) showing earthquake zones. This information was updated to NZS3604:2011.

Exposure (Corrosion) Zone

Refer to Exposure zones map provided in [Appendix I](#).

Zone B: Low

Inland areas with little risk from wind blown sea-spray salt deposits.

Zone C: Medium

Inland coastal areas with medium risk from wind blown sea-spray salt deposits. This zone covers mainly coastal areas with relatively low salinity. The extent of the affected area varies significantly with factors such as winds, topography and vegetation.

Zone D: High

Coastal areas with high risk of wind blown sea-spray salt deposits. This is defined as within 500m of the sea including harbours, or 100m from tidal estuaries and sheltered inlets, and otherwise as shown in figure 4.2 (attached). The coastal area also includes all offshore islands.

Wind Zone

This property is within wind region A. The wind bracing demand on a structure is assessed on the basis of the building location, the building size and shape, and the level within the building being considered. Determination of wind region is initially required. Bracing Design map provided in [Appendix I](#) showing wind zones.

Section 2 Private and public stormwater and sewage drains

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Section 44A (2)(b) LGOIMA

Information on private and public stormwater and sewerage drains as shown in the territorial authority's records.

Stormwater

There is no Council stormwater main in Snodgrass Road at this location. Stormwater from this house is likely disposed of on-site and/or to a drain though no information is held on file. Aerial map of services and drainage plan are provided in [Appendix II](#).

Wastewater

There is no Council sewer reticulation available in this area. Septic tank method utilised for the disposal of domestic effluent. Aerial map of services and drainage plan are provided in [Appendix II](#).

Further information may be obtained from Council's Infrastructure Delivery department via email info@bdc.govt.nz or freephone 0800 807 239.

Section 3 Drinking Water

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Section 44A (2)(bb) LGOIMA

Information on (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a drinking water supplier; (ii) if the land is supplied with drinking water by a drinking water supplier, any conditions that are applicable to that supply; (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply; (iv) any exemption that has been notified by Taumata Arowai to the territorial authority under section 57 of the Water Services Act 2021:

This property is connected to the Westport reticulated treated water supply via the water main in Snodgrass Road. Aerial map of services provided in [Appendix II](#).

The Westport Water Supply is a Buller District Council owned water supply. It is a treated water supply with a coagulation/flocculation process to remove “colour” and turbidity, sand media filtration, Chlorination for disinfection, UV Treatment and pH correction. It is sourced from the headwaters of Giles Creek and stored in large open impounding reservoirs to the South East of the township. It is piped to the Water Treatment Plant where the treated water is stored in a 3,750m³ capacity concrete contact reservoir and delivered to Westport by two trunk mains.

The Buller District Council includes an annual targeted water rate for all properties connected to the supply with general property rates and is responsible for the repair and maintenance of the supply.

Further information may be obtained from Council’s Infrastructure Delivery department via email info@bdc.govt.nz or freephone 0800 807 239.

Section 4 Financial Information

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Section 44A(2)(c) LGOIMA

Information relating to any rates owing in relation to the land:

If the land concerned is located in a levy area that is subject to a levy order under the [Infrastructure Funding and Financing Act 2020](#), information about—

(i) the levy period; (ii) how liability for a levy on the land is assessed; (iii) amounts of any unpaid levy:

If the land concerned is located in a project area that is subject to a targeted rates order under the [Urban Development Act 2020](#), information about—

(i) the financial years to which the order applies; and (ii) how liability for targeted rates under that Act on the land is calculated; and (iii) amounts of any unpaid targeted rates under that Act:

Rating Information

Annual Rates	\$ 2,677.30
Current Instalment	\$ 669.30
Current Year - Outstanding Rates	\$ 473.69

Any additional connection or provision of services may incur additional charges.

Rates are charged in four equal instalments for the period commencing 1 July and ending 30 June each year. The current valuation was received in September 2025 and is used for rating purposes from 1 July 2026-30 June 2029 (3 years).

The provision of Council services in Buller is subject to ongoing review through processes such as Long Term Plans and Annual Plans. This information can be found at <https://bullerdc.govt.nz/your-council/plans-policies-and-bylaws/>.

Rates and valuation information can be found here: <https://bullerdc.govt.nz/do-it-online/look-up-your-rates/>. Property transactions may result in a change in the rating classification of this property, and therefore the rates payable. Further information may be obtained from the Rating Officer – rates@bdc.govt.nz.

Note: The above does not include rates for the West Coast Regional Council – info@wrcrc.govt.nz.

Infrastructure Funding and Financing Act 2020

Provided under section 44A(2) (ca) if the land concerned is located in a levy area that is subject to a levy order under the Infrastructure Funding and Financing Act 2020.

No information located.

Urban Development Act 2020

Provided under section 44A(2) (cb) if the land concerned is located in a project area that is subject to a targeted rates order under the Urban Development Act 2020.

No information located.

Section 5 Consents, certificates, notices, orders, or requisitions affecting the land or any building on the land

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Sections 44A(2)(d), (da) LGOIMA

Information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act); the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and the information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Note: Resource consents and any notices, certificates, orders or requisitions under the Resource Management Act 1991 are not included in this section but are found in Section 7 along with other relevant resource management information.

Compliance with Building (Pools) Amendment Act 2016

No pool registered to this property. Effective from 1 January 2017, the Building (Pools) Amendment Act 2016 has repealed the Fencing of Swimming Pools Act 1987 and added new provisions to the Building Act 2004.

The objective of the new provisions, involving residential pools, is to prevent injury or death to young children by restricting access to the immediate pool area. Key changes include:

- residential swimming pools must be inspected every three years; and
- safety covers will be able to be used as barriers for spa pools and hot tubs.

Further information may be obtained from the Ministry of Building, Innovation and Employment website, www.mbie.govt.nz or from the Building Department, Buller District Council.

Smoke Test Reports

Following January 1991 earthquakes, smoke tests were carried out at some properties to ascertain the structural integrity of chimneys/fireplaces.

There is no record of a smoke test being carried out at this property.

Summary of Building Consents and Building Permits

Copies of Building Consents/Code Compliance Certificates and/or Permits are provided in **Appendix III**. Any further building information or plans may be requested at [BDC-duty.inspector@bdc.govt.nz](mailto:bdc-duty.inspector@bdc.govt.nz).

Building Consents

Consent ID: 190035	Issue Date: 25/03/19
Description: Install replacement wood burner, Metro woodburner - original damaged in cyclone Fehi	
Status and Date: Code Compliance Certificate issued 11/07/19	

Consent ID: 180152	Issue Date: 6/09/18
Description: Re-pile of dwelling to raise floor level and construction of deck and covered roof area.	
Status and Date: Code Compliance Certificate issued 23/03/23	

Consent ID: 160141	Issue Date: 28/09/16
Description: Garage / Workshop Extension	
Status and Date: Code Compliance Certificate issued 9/08/22	

Consent ID: 100121	Issue Date: 20/09/10
Description: Alterations and addition to dwelling, small extension to bedroom and installation of ensuite	
Status and Date: Code Compliance Certificate issued 27/02/13	

Consent ID: 060388	Issue Date: 4/09/06
Description: Installation of Woodsman Mata RMF spaceheater with wetback connection	
Status and Date: Code Compliance Certificate issued 15/09/06	

Building Permits

Unless approval has been indicated, no final inspection will be carried out or written statement of completion and compliance issued. Note that prior to the Building Act 1991, building permits were not required to have Code Compliance Certificates issued.

Type of Permit	Permit Number	Issue Date	Description of work	Final Approval
Building	H012551	14/08/90	Installation of Fisher Blenheim freestanding spaceheater	16/07/90
Building	D049489	March 1985	Construction of new garage	06/01/86
Plumbing and Drainage	562	10/06/80	Plumbing and Drainage	
Building	B106243	30/07/84	Extension of porch to existing dwelling	19/09/84
Building	G101845	1975	Construction of cottage	

Licences/Environmental Health – Food Act 2014, Sale and Supply of Alcohol Act 2012, Camping Ground Regulations 1985

No record on file of any licence issued for this property.

Section 6 Other Building information

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Sections 44A(2)(e) and (ea) LGOIMA

Information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004; and Information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006.

Information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004

Any information located in Council records regarding any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004 in relation to this property will be recorded within the Summary of Building Consent Applications and any supporting information supplied in the related Appendix.

Information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006

No information located in Council records regarding any notification under Section 124 of the Weathertight Homes Resolution Services Act 2006 in relation to this property.

Section 7 Use to which that land may be put and conditions attached to that use

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Section 44A(2)(f) LGOIMA

Information relating to the use to which that land may be put and conditions attached to that use.

Zoning: Operative Buller District Plan

Zone: Rural Zone

Full details of the zone requirements are found in the operative Buller District Plan. Relevant zone rules and planning map are provided in [Appendix IV](#).

Zoning: Te Tai o Poutini Plan (Decisions Version)

On 10 October 2025, the Decisions Version of the Te Tai o Poutini Plan (TTPP) was publicly notified. The Decisions Version, associated maps and additional information are located at tppp.nz. This notification formally marked the start of the Appeals period. An opportunity to join appeals lodged as a s274 party was open until 2 February 2026.

Appeals information sheets are located at tppp.nz. Please note that there may be further changes to the TTPP as an outcome of the appeals.

Zones and Development Areas

- Settlement Zone (*Note: this section is currently under appeal.*)

Note: Te Tai o Poutini Plan Decisions version online map incorrectly notes the Zone for this property as Open Space Zone. For the purpose of this LIM, this has been queried with the TTPP team who have acknowledged the error. It is therefore confirmed that the property is zoned Settlement Zone under the TTPP.

General District Wide Matters

- Coastal Environment (*Note: this section is currently under appeal.*)

Hazard and Risks (*Note: this section is currently under appeal.*)

- Westport Hazard Overlay

Refer to TTPP (decision version) planning maps and relevant rules provided in [Appendix V](#). The TTPP (decision version) can be viewed here: <https://tppp.nz>. For Natural Hazard Objectives, Policies and Rules, refer to Section 1 and [Appendix I](#).

Notable (Protected) Trees

Council does not hold any record of a notable tree being registered to this property.

Historic (Heritage) Building/Site

Council does not hold any record of a heritage building being on this property.

Summary of Resource Consents and Town Planning Permits

Copies of Resource Consent decisions are provided in [Appendix VI](#). Any further Planning information may be requested from Council's Duty Planner via email planning@bdc.govt.nz or phone 03 788 9603 during duty hours (10.00am-12.00noon and 2.30pm-4.30pm on Monday, Tuesday, Thursday and Friday).

Resource Consents

Consent ID:	180045
Proposal:	Marginal Deemed Permitted Activity being the alterations to existing dwelling that include an addition of a partially roofed deck within the 5m road reserve boundary setback
Status and Date:	Granted under Delegated Authority 14/09/18

NOTE: If not given effect to, a resource consent lapses after five years from the date of the decision, unless otherwise specified in the decision or unless extended by resolution of Council.

Town Planning Permits

No record on file of any town planning permits in relation to this property.

Section 8 Information regarding this property which has been notified to Council by any other statutory organisation

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Section 44A(2)(g) LGOIMA

Information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose.

West Coast Regional Council

West Coast Regional Council is responsible for the following –

- Sustainable regional well-being.
- Managing the effects of using freshwater, land, air and coastal waters, by developing regional policy statements and regional plans (coast, air, land and water) and the issuing of consents.
- Managing rivers, mitigating soil erosion, flood control and other hazards.
- Identifying and mapping areas subject to liquefaction.
- Regional emergency management and civil defence preparedness.
- Regional land transport planning and total mobility funding.
- Marine oil spills and pollution response.

Therefore we strongly advise that you contact the West Coast Regional Council (0508 800 118) to ascertain whether there is any further information regarding this property on their records.

Note: Publicly available Natural Hazard Reports are held by WCRC and can be accessed by the following link: <https://www.wcrc.govt.nz/publications/natural-hazard-reports>

Section 9 Information regarding this property which has been notified to Council by a network utility operator

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Section 44A(2)(h) LGOIMA

Any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Network Utility Operators

Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant Network Utility Operator.

Section 10 Discretionary Information

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Section 44A(3) LGOIMA

A territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be relevant.

Boundaries and Property Location

Property location aerial photograph supplied – aerial flown in 2024 provided in [Appendix VII](#).

For various reasons, buildings on land are not always correctly sited. They may be too close to boundaries, stop banks, waterways, across boundaries or they may be wholly or partly sited on adjacent property or legal road. Often Council will be unaware of a particular building since it may be an exempt structure in terms of Schedule 1 of the Building Act 2004.

Note that the boundary information supplied as part of the LIM is not a substitute for a legal survey. Land Information New Zealand (LINZ) parcel boundaries layer for rural properties on Council's GIS system may not be accurate and in some cases may be misaligned in excess of 10 metres, and urban properties may be misaligned by up to 1.5 metres.

Any person wishing to rely on the supplied graphical information should independently verify that information.

Access / Land Transport Requirements

There is an existing sealed vehicle crossing to Snodgrass Road. There is a second unsealed vehicle crossing to site for which there is no record of a vehicle crossing application being made. When originally constructed, this was not a requirement, and no immediate action is required by the owner. The requirement to upgrade the unsealed vehicle crossing to a Council approved vehicle crossing on Snodgrass Road may be triggered by any future building consents, resource consents, boundary adjustments, upgrades to the road, or installation of infrastructure within the road reserve.

Further information may also be obtained from Council's Infrastructure Delivery department via email info@bdc.govt.nz or freephone 0800 807 239.

Roading information and applications to install are available on our website <https://bullerdc.govt.nz/infrastructure/roads/>.

Refuse & Recycling Collection

The Buller district is divided into three zones for recycling and refuse. Each of these zones has specific guidelines for recycling and refuse. This property is located in Zone 1 which covers Westport, the areas from Westport to the Mokihiui Bridge, Westport to Punakaiki, Westport to Reefton including Blacks Point, and Reefton to Ikamatua. All properties are rated for solid waste management.

Refuse and recycling collection is available in this area and is collected by Smart Environmental Ltd. Any recycling bin and glass crate that Smart Environmental Ltd issued to this address must remain at this property. If they have been removed from this property, there will be a charge to the owner of the property for replacement.

Information on services provided for refuse and recycling in each zone, including collection days, and fees and charges, can be viewed on Council's website www.bullerdc.govt.nz or by contacting the Council's Customer Services staff on 0800 807 239 or info@bdc.govt.nz.

Solid Fuel Heaters

Note: Solid fuel heaters and flues require regular cleaning, maintenance and safety checks. Council does not warrant the condition of the units. Anyone intending to take an interest should arrange for the units to be independently checked.

Building Act 2004

The [Building Act 2004](#) provides for the regulation of building work, the establishment of a licensing regime for building practitioners, and the setting of performance standards, to ensure that:

- people who use buildings can do so safely and without endangering their health; and
- buildings have attributes that contribute appropriately to the health, physical independence, and well-being of the people who use them; and
- people who use a building can escape from the building if it is on fire; and
- buildings are designed, constructed, and able to be used in ways that promote sustainable development.

To achieve this purpose, the Act requires anyone proposing to do building work to obtain Building Consent from a Building Consent Authority before commencing building work except if exempt under Schedule 1.

Further information, including frequently asked questions and how to apply for a building consent, can be found on our website <https://bullerdc.govt.nz/property-rates-and-building/building-and-building-consents/>

Resource Management Act 1991

A resource consent is a formal, written permission to undertake an activity on a particular site. Permission must be obtained to carry out activities that are restricted or controlled by the rules set out in the operative Buller District Plan/Te Tai o Poutini Plan – Decisions Version.

When an application for a resource consent is received, the processes set out in the Resource Management Act 1991 (RMA) are followed. A resource consent is required for activities that:

- are not permitted "as of right" in the district or regional plan or
- exceed the rules of the district or regional plan in some way.
- If you believe that your proposed activity is permitted or can be carried out without resource consent, you may wish to apply for a Certificate of Compliance.

Further information, including frequently asked questions and how to apply for a resource consent, can be found on our website <https://bullerdc.govt.nz/property-rates-and-building/planning-and-resource-consent/>.

Rural Land

Adjacent to Rural Zone. Rural Zones incorporates a productive agricultural environment, where the Council will uphold the amenity standards associated with the normal conduct of farming operations in the zone. Potential purchasers of rural land should be aware that typical activities associated with rural land such as vehicle and animal noise, smells and other similar activities are to be expected in rural areas.

Civil Defence and Emergency Management in Buller

The West Coast Civil Defence Emergency Management Group (CDEM) manages civil defence in Buller.

The [West Coast CDEM Group](#) consists of the four West Coast Councils:

- West Coast Regional Council
- Buller District Council
- Grey District Council
- Westland District Council.

In an emergency within Buller, the [Buller Civil Defence Facebook](#) page will be updated as frequently as possible to keep the community informed.

Further information on Civil Defence and Emergency Management in Buller can be found on our [Buller District Council website](#).

Record of Title

No title search has been done on this property. The Record of Title may note restrictions on the property or building by way of Consent Notices, Easements or Covenants registered to the Title. You may wish to consult a solicitor if the Record of Title has any of these instruments registered to the Record of Title.

- A consent notice would alert current and future property owners of certain obligations that must be complied with on a continuing bases or at the time of building and in some instances, vegetation maintenance. The process to change or cancel a consent notice would require a Section 221 application under the Resource Management Act 1991.
- Land covenants and may also affect how you can use the land and are often private covenants. The rules can either make a landowner do something or prevent the landowner from doing something on the land. These rules can apply for a set period of time or stay on the land forever.
- An easement is defined as a right for the owners of one lot to carry out some form of activity over another lot (e.g. an electricity easement allows electricity to be conveyed to a property over another property). A right-of-way is a particular type of easement, which allows the owners of a lot vehicle and/or pedestrian access over a portion of another lot. When considering building work, it is important that the property owner is aware of where easements are located as they cannot be built over.

Buller District Council Website

Visit Buller District Council's website <https://bullerdc.govt.nz/> for more Council related information including but not limited to:

- Request a Service
- Fees and Charges
- Planning and resource consents
- Online payments

- Waste and Recycling
- Annual/Long Term Plans
- Building and building consents
- Rating information
- Facilities
- Public notices (including water restrictions)
- Road closures (local roads)
- Media Releases
- Dogs and Animal Control
- Licences and permits

Building on land subject to a Natural Hazard

If you are thinking about carrying out building works it is important to consider any natural hazards that may affect how the project complies with the Building Act 2004 and the New Zealand Building Code.

Natural hazards include:

- erosion (including coastal, bank, and sheet erosion);
- falling debris (including soil, rock, snow, ice);
- subsidence;
- inundation (including flooding, overland flow, storm surge, tidal effects, ponding); and
- slippage.

A Land Information Memorandum (LIM) or Project Information Memorandum (PIM) will provide information about hazards that the Council knows about.

New building works or alterations should be designed with any natural hazard in mind. The Building Act 2004 requires the Council to look closely at building consents for new buildings or major alterations to a building on land subject to a natural hazard.

The Council can refuse to grant a building consent in some circumstances or it can grant consent subject to conditions under Section 72 of the Building Act 2004.

If I apply for a building consent in a known hazard area will I need to have a report from a Geotechnical Engineer or Hydrologist ?

Unless the work is of a minor nature you may need a report from one of these professionals.

You should check with the Council prior to lodging a building consent.

Will a building consent be issued in these areas?

Section 72 of the Building Act 2004 states that Council shall refuse to grant a building consent for the construction of a building or major alterations unless it is satisfied that adequate provision has been or will be made to protect the land or building work, or other property concerned from those hazards, or restore any damage to the land or property concerned that may result from the building work.

Where a building consent is applied for on land that is subject to one or more of the above hazards and the territorial authority considers that the building work itself will not accelerate, worsen, or result in erosion, falling debris, subsidence, inundation or slippage, then the building consent can be issued subject to Section 72.

When a building consent is issued subject to Section 72 for Crown land the Surveyor-General is notified or for Maori land the Registrar of the Maori Land Court is advised, and they will enter the particulars of the notification into their records together with any relevant PIM.

For all other land the Registrar-General of Land is notified who must record as an entry on the Computer Freehold Register (CFR) (formerly known as a Certificate of Title) that a building consent has been granted under section 72 and particulars that identify the natural hazard concerned.

Will all building consents in hazard areas be issued subject to Section 72 ?

Not necessarily. Section 72 allows the Council to issue a building consent if it is satisfied that adequate provision has been made either to protect the land or building work or other property from the hazard or to restore any damage to the land or other property arising out of the building work.

Section 72 applies to the construction of a building or major alterations to a building. While there is no definition of major alterations, the Council considers that the installation of domestic fires and minor interior alterations would not attract action under Section 72.

The Council strongly recommends that you or your advisors discuss your proposals with our Consents staff prior to lodging your building consent application.

Can a Section 72 endorsement be entered on my CFR if I don't apply for a building consent ?

No.

How do I know if there is already a hazard-related endorsement on the CFR ?

You need to obtain a copy of the CFR from Land Information New Zealand.

Contact: Land Information New Zealand

Phone 0800 665 463 (New Zealand call free only)

Email: info@linz.govt.nz

NOTE: If a CFR endorsement is required for the issue of a Building Consent you will be asked to sign a Section 72 Request acknowledging that you are aware of the implications of a Section 72 notice on the CFR for your property.

What are the implications of having a Section 72 on the CFR?

If there is a Section 72 endorsement on the CFR and the building is subsequently damaged by a hazard event then the owner, and subsequent owners, cannot claim against the Council for issuing the consent.

"The existence of an entry under Section 74 of Building Act 2004 may limit statutory natural disaster insurance. Refer Clause 3(d) of Third Schedule to the Earthquake Commission Act 1993."

You are strongly advised to contact your solicitor, insurance company and the

Earthquake Commission if you are purchasing a property in these areas or you are planning on doing any alterations or additions in the future.

Contact: Earthquake Commission

P O Box 790, WELLINGTON

Phone: 04-978-6400 Fax: 04-978-6431

E-mail: info@eqc.govt.nz

You should notify your insurer immediately of a section 73 notification. Your insurer will more than likely request that you obtain an independent engineer's report commenting on the stability of the property. Should the report be favourable, then the insurer may continue to provide top up cover and difference in conditions cover.

Contact: Insurance Council of NZ

P O Box 474, WELLINGTON

Phone: 04-472-5230 Fax: 04-473-3011

E-mail: icnz@icnz.org.nz

Please Note: Section 36 of the Building Act 1991 covered natural hazards. Prior to the Building Act 1991 all building permits were issued under the Local Government Act 1974. Section 641(A) of the Local Government Act is similar to Section 72 of the Building Act so check your CFR for any relevant endorsement.

You can find out more about Sections 72 and 73 of the Building Act 2004 from the Ministry of Business, Innovation and Environment

Contact: MBIE

P O Box 1473, Wellington 6011

Freephone: 0800 24 22 43

E-mail: info@building.govt.nz

Website: <http://www.mbie.govt.nz>

Te Tai o Poutini/the West Coast region is subject many natural hazards; river flooding, coastal erosion, coastal inundation and land instability; the impact of these natural hazards is likely to be exacerbated by climate change including sea level rise over the lifetime of this Plan. There is also natural hazard risk from earthquakes.

A natural hazard is defined in the RMA as "any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment".

The risks associated with natural hazards vary on Te Tai o Poutini/the West Coast, with its sparse population and low level of development in some areas, compared with discrete areas of larger populations in the towns and settlements. In the larger populated and developed areas the consequences of natural hazards are considerably greater - hence the risk is higher. A risk-based approach to natural hazards has been taken in Te Tai o Poutini Plan and means that the focus of the natural hazard provisions is in the areas where there is greatest risk.

- Coastal Hazard Overlays - Coastal Hazard Erosion and Inundation Overlay where risk from coastal erosion and inundation over the next 100 years with 1m of sea level rise has been modelled and mapped, Coastal Hazard Inundation Overlay 1 where risk from coastal inundation in a 1% AEP coastal storm event with 1m of sea level rise has been modelled and mapped. Coastal Hazard Inundation Overlay 2 which is a 30m wide buffer from the edge of the active shoreline to capture seasonal changes in the shoreline and corresponding inundation hazard.
- Hokitika Coastal Hazard Overlay — applies to parts of Hokitika where the design and consent process for planned upgrades have not yet occurred, and a significant risk remains.
- Flood Hazard Overlays — "Flood Severe" and "Flood Susceptibility" where risk from flooding has been modelled, and due to depth and speed of water, mapped as either severe or susceptibility.
- Westport Hazard Overlay - specific provisions managing flooding and coastal inundation. This applies to the area identified in the West Coast Regional Council Long Term Plan as to be protected. Design and consent work is underway.
- Earthquake Hazard Overlay — These overlays apply either side of the active fault traces for the Alpine, Hope, Clarence and Awatere Faults. A large earthquake on these faults will result in ground shaking outside of these areas. The Earthquake Hazard Overlay should not be considered the total extent of the hazard but are considered to reflect the likely extent of the most significant hazard.
- Land Instability Overlay — This overlay applies to areas where there is risk from slope instability, landslide, debris flow and rockfall.

The spatial extent of the overlays is where rules apply. Some properties may have more than one natural hazard overlay, the rules from all overlays apply.

Natural Hazard Mitigation Structures

Where Natural Hazard Mitigation Structures are located or proposed in the Coastal Environment or Riparian Areas of Waterbodies, the rules for these are to be found in the relevant Coastal Environment and Natural Character and Margins of Waterbodies Chapters.

Other relevant Te Tai o Poutini Plan provisions

It is important to note that in addition to this chapter, a number of General District-wide Matters chapters also contain provisions that may be relevant for natural hazards and in particular the specific provisions around the construction of natural hazard mitigation structures such as seawalls, flood walls and stop banks.

In particular the Coastal Environment Chapter, Natural Character and Margins of Waterbodies Chapter, Earthworks Chapter, Ecosystems and Indigenous Biodiversity and Natural Features and Landscapes Chapters may be relevant.

Natural Hazards Objectives

NH - O1

Adopt a risk-based approach to natural hazard management where:
1. Subdivision, use and development within Severe Natural Hazard Overlays

	reduces or does not increase the existing risk from natural hazards to people, buildings, and regionally significant infrastructure. 2. Subdivision, use and development within all other Natural Hazard Overlays manages and does not increase the risk from natural hazards to people, buildings, and regionally significant infrastructure.
NH - O2	To only locate regionally significant infrastructure within the Severe Natural Hazard Overlays where there is an operational need or functional need to be located within these overlays, and to design the infrastructure so as not to increase the risk to people and other buildings.
NH - O3	Green Infrastructure that reduces the susceptibility of people, buildings, and regionally significant infrastructure to damage from natural hazards are created, retained, or enhanced and protected
NH - O4	To recognise and provide for the impacts of climate change, and its influence on the frequency and severity of natural hazards.
NH - O5	Measures taken to mitigate natural hazards do not increase the risks to people, buildings and regionally significant infrastructure.

Also the Strategic Objectives and Policies

Policies	
NH - P1	Identify areas subject to natural hazards within Te Tai o Poutini Plan and take a risk-based approach to the management of subdivision, use and development based on: - The sensitivity of the activities to the impacts of natural hazards; - The risk posed to people's lives and wellbeing, buildings and regionally significant infrastructure, by considering the likelihood and consequences of natural hazard events; and - The operational need or functional need for some activities to locate within the Natural Hazard Overlays.
NH - P2	Where a natural hazard has been identified and the natural hazard risk to people and communities is uncertain apply a precautionary approach to allowing subdivision, use and development of the area.
NH - P3	When managing natural hazards: - Promote the use of green infrastructure and appropriate risk management approaches in preference to hard engineering solutions in mitigating natural hazard risks; and - Avoid increasing risk to people, and buildings; while - Recognising that in some circumstances hard engineering solutions may be the only practical means of protecting communities and regionally significant infrastructure; and - Enabling natural hazard mitigation works where these works are being undertaken by a Statutory Agency or their nominated contractor acting on their behalf and these will decrease the existing risk to people's lives and wellbeing, buildings and regionally significant infrastructure.
NH - P4	Natural hazard assessment for subdivision, use and development (including for managed retreat) will consider the impacts of climate change. In particular the following matters will be considered: - Change in sea level over the next 100 years; - Increased inundation of low lying areas; - Changes in rainfall patterns; - Increase in cyclonic storms; and - Changes in the magnitude, frequency and duration of severe weather events.
NH - P5	When assessing areas suitable for managed retreat, the following matters will be considered: - That the natural hazard risk of the area is less than the existing location, and - The potential future need to protect the community and associated infrastructure by

	hazard mitigation works.
NH - P6	Allow for subdivision, use and development for Less Hazard Sensitive Activities in all Natural Hazard Overlays.
NH - P7	Avoid subdivision, use and development for Potentially Hazard Sensitive and Hazard Sensitive Activities in the Severe Natural Hazard Overlays unless it can be demonstrated that: - The subdivision, use or development has an operational or functional need to locate within the hazard area; and - The subdivision, use or development incorporates mitigation measures that reduce or do not increase the existing risk to people, buildings and regionally significant infrastructure; and - In the Flood Severe Overlay the risk to people, buildings and regionally significant infrastructure on adjacent sites is not increased as a result of the activity proceeding; or - In the Coastal Hazard Erosion and Inundation Overlay there are existing or proposed coastal erosion mitigation structures that are certified by an engineer to provide protection from coastal erosion and meeting the following design requirements: - Have a batter slope of 1:2.5 or less; - Must be embedded a minimum of 1.0 metre into the beach terrain, ideally reaching a level below the low water mark level; - The rock just be of sound composition with a minimum density of 2.6 tonnes per cubic metre; and - The rock must have a minimum D50 (median diameter) of 800mm and be well graded and constructed to form a competent lining.
NH - P8	Provide for subdivision, use and development for Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Land Instability, Coastal Hazard Inundation Overlay 1, Coastal Hazard Inundation Overlay 2, Flood Alert, Flood Susceptibility and Earthquake Susceptibility Hazard Overlays where: - Measures are incorporated to mitigate the risk to people, buildings and regionally significant infrastructure; and - In the Flood Susceptibility and Land Instability Overlays the risk to people and buildings on adjacent sites is not increased as a result of the activity proceeding.
NH - P9	When assessing the actual and potential effects of subdivision, use and development in the Natural Hazard Overlays consider: - The level of risk posed by natural hazards to people, buildings and regionally significant infrastructure; - Existing and proposed technological and engineering mitigation measures and other non-engineered options; - The location and design of proposed sites, buildings, vehicle access, earthworks and on-site infrastructure in relation to the natural hazard risk; - The clearance or retention of vegetation or other natural features to mitigate natural hazard risk; - The timing, location, scale and nature of any earthworks in relation to the natural hazard; - The potential for the proposal to exacerbate natural hazard risk, including transferring risk to any other site.; - The functional need or operational need to locate in these areas; and - Any adverse effects on the environment of any proposed mitigation measures.
NH - P10	Allow subdivision, use and development within the Westport Hazard Overlay where the risk to people and buildings is mitigated from the: 1% annual exceedance probability flood event ; and 1% annual exceedance probability plus 1m sea level rise coastal event.
NH - P11	Allow subdivision, use and development within the Hokitika Coastal Hazard Overlay where the risk to people and buildings is mitigated from the 1% annual exceedance probability coastal storm event plus 1m sea level rise.
NH - P12	Only allow for hard engineering natural hazards mitigation works for the reduction of

	the risk from coastal hazards where: - The engineering measures are needed to protect existing nationally and regionally significant infrastructure and it can be demonstrated that there is no practicable alternative; - There is a demonstrable risk to existing nationally and regionally significant infrastructure, life or private property from the coastal hazard; - The construction of the hard engineering measures will not increase the risk from Coastal Hazards on adjacent properties that are not protected by the hard engineering measures; - Hard engineering structures are designed to minimise adverse effects on the coastal environment - Adverse effects on significant natural features and systems and their function as natural defences are avoided, remedied or mitigated; and - It can be demonstrated that green infrastructure measures would not provide an appropriate level of protection in relation to the significance of the risk.
NH - P13	Only allow for the construction of a single residential unit on an existing vacant site located within the Severe Natural Hazard Overlays, where: - Locating a residential unit on a site outside of the Severe Natural Hazard Overlays is not a practicable option; and - Mitigation measures are incorporated into the building to minimise the risk to life of the occupants and the structural integrity of the building in the event of a natural hazard that relates to the overlay.
NH - P14	Only allow for the construction of buildings associated with Hazard Sensitive Activities and Potentially Hazard Sensitive Activities within the Scenic Visitor Zone and within the Coastal Hazard Erosion and Inundation Overlay, where: - Locating a building on the site outside of the Coastal Hazard Erosion and Inundation Overlay is not a practicable option; and - Mitigation measures are incorporated into the building to mitigate the risk to life of the occupants and maintain the structural integrity of the building from coastal erosion or coastal inundation.
NH - P15	Only allow for the construction of buildings associated with Hazard Sensitive Activities and Potentially Hazard Sensitive Activities within a Severe Natural Hazard Overlay where: - Locating a building on the site outside of the Severe Natural Hazard Overlay is not a practicable option on Māori Purpose Zone land; and - Mitigation measures are incorporated into the building to mitigate the risk to life of the occupants and maintain the structural integrity of the building from the severe natural hazard.

Note:

- There may be a number of Plan provisions that apply to an activity, building, structure and site. In some cases, consent may be required under rules in this Chapter as well as rules in other Chapters in the Plan. In those cases, unless otherwise specifically stated in a rule, consent is required under each of those identified rules. Details of the steps Plan users should take to determine the status of an activity is provided in General Approach.
- Regional rules relating to the diversion of water are contained within the West Coast Regional Land and Water Plan. Resource consents may also be required under this Plan.
- Reconstruction or replacement of a lawfully established building or structure may be subject to existing use rights. In these instances increasing the finished floor level in flood or coastal inundation overlays is strongly encouraged.

Rules - All Natural Hazard and Coastal Hazard Overlays

Permitted Activities

NH- R1	Replacement of Lawfully Established Buildings for Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Natural Hazard Overlays
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Activity Status Permitted Where: 1. This is the replacement of a lawfully established building; and 2. The building has been destroyed or substantially damaged due to fire, or a natural hazard event and is located in the Flood Susceptibility, Earthquake Susceptibility, Land Instability, Coastal Hazard Inundation Overlay 1, Coastal Hazard Inundation Overlay 2, Hokitika Coastal Hazard Overlay or Westport Hazard Overlay; and 3. If the building is to contain a Potentially Hazard Sensitive or Hazard Sensitive Activity and is within the Flood Susceptibility, Hokitika Coastal Hazard Overlay, or Westport Hazard Overlay, then the replacement building complies with the minimum floor level requirement of the specific Natural Hazard Overlay Rules; and 4. The rebuild has commenced within 5 years after the date of the natural hazard event or fire which caused the damage or destruction of the building; and 5. The gross floor area of the replacement building is the same, or smaller than the building that was destroyed.	Activity status where compliance not achieved: Refer to specific Natural Hazard Overlay Rules.
NH - R2	Repairs, Maintenance and Upgrades to Existing Natural Hazard Mitigation Structures
Activity Status Permitted Where: 1. The structure has been lawfully established; 2. Only cleanfill is used where fill materials are part of the structure; 3. There is no reduction in public access; 4. There is no change to more than 10% to the overall dimensions, orientation, height or length of the structure from that originally lawfully established structure; and 5. It is accompanied by an assessment undertaken by a Chartered Professional Engineer confirming that the natural hazard mitigation structure does not increase the natural hazard risk to other properties or any other lawfully established natural hazard mitigation structure, and this assessment is provided to the relevant District Council 10 working days prior to works commencing. Advice Notes: 1. Where any natural hazard mitigation structure is also located in the Coastal Environment another Overlay Chapter area as identified on the planning maps and in the Schedules 1-8 then resource consent may be required under the relevant Overlay Chapter rules. 2. A West Coast Regional Council resource consent may be required under the West Coast Regional Land and Water Plan and/or Regional Coastal Plan.	Activity status where compliance not achieved: Restricted Discretionary
NH - R3	Demolition and Removal of a Natural Hazard Mitigation Structure within all zones and Overlay Areas
Activity Status Permitted Where: 1. It is accompanied by an assessment undertaken by a Chartered Professional Engineer confirming that the natural hazard mitigation structure does not increase the natural hazard risk to other properties or any other lawfully established natural hazard mitigation structure, and this assessment is provided to the relevant District Council 10 working days prior to works commencing. 2. Within one month of the natural hazard mitigation structure being removed, evidence is provided to Council of the completion of works and certification that any engineering requirements specified in the assessment (clause 1) are fulfilled. Advice Note: Where any natural hazard mitigation structure is also located in the Coastal	Activity status where compliance not achieved: Restricted Discretionary

Environment or another Overlay Chapter area as identified on the planning maps and in the Schedules One to Eight then resource consent may be required under the relevant Overlay Chapter rules.	
Restricted Discretionary Activities	
NH - R4	New Natural Hazard Mitigation Structure and Repairs, Maintenance and Operation of any Minor Upgrades to or Demolition of Existing Natural Hazard Mitigation Structures or not meeting Permitted Activity Standards
Activity Status Restricted Discretionary Where: 1. The structure is constructed by a Statutory Agency or their nominated authorised contractor acting on its behalf; 2. There is no reduction in public access; 3. It is accompanied by an assessment undertaken by a Chartered Professional Engineer confirming that the natural hazard mitigation structure does not increase the natural hazard risk to other properties or any other lawfully established natural hazard mitigation structure, and this assessment is provided to the relevant District Council 10 working days prior to works commencing. Discretion is Restricted to: a. the effects on people and property; b. The effects on the natural character of the coastal environment; c. The effects on Poutini Ngāi Tahu values, and archaeological sites, historic heritage or on any Site and Areas of Significance to Māori identified in Schedule Three; d. The effects on public access; e. Volume and area of earthworks; f. Effects on ecosystems and indigenous biodiversity; g. Measures to mitigate landscape effects; and h. The functional need or operational need of the activity. Advice Notes: 1. A West Coast Regional Council resource consent may be required under the West Coast Regional Land and Water Plan and/or Regional Coastal Plan. 2. Natural Hazard Mitigation Structures constructed in the Coastal Environment, or within the Riparian Margins of Waterbodies or within areas identified in Schedules 1 - 8 will be subject to the provisions in the relevant Overlay Chapters. 3. if the Overlay Chapters don't provide for this activity then NH-R3 prevails	
Activity status where compliance not achieved: Discretionary	
NH - R5	The construction of buildings that will contain a residential unit within the Flood Severe Overlay, Earthquake Severe Overlay or Coastal Hazard Erosion and Inundation Overlay
Activity Status Restricted Discretionary Where: 1. It involves the construction of one residential unit on an existing vacant site that existed prior to 1 July 2022 where the residential unit is located within the Severe Natural Hazard Overlays. Discretion is restricted to: a. The location of the residential unit on the site and whether there are any other practicable locations on the site to locate the residential unit outside of the natural hazard overlay; b. The mitigation measures incorporated into the residential unit to minimise the risk to life to the occupants and maintain the structural integrity of the building from the natural hazard which relates to the overlay; and c. Within the Flood Severe and the Coastal Hazard Erosion and Inundation Overlay the incorporation of mitigation measures into the residential unit to allow for the building to be relocated due to the	
Activity status where compliance not achieved: Non-complying	

future risk presented to the building from natural hazards.	
NH - R6	The construction of buildings, and additions to buildings, that will contain Hazard Sensitive Activities or Potentially Hazard Sensitive Activities and are within the Scenic Visitor Zone and within the Coastal Hazard Erosion and Inundation Overlay
Activity Status Restricted Discretionary Where: 1. This is accompanied by a natural hazard risk assessment prepared by a suitably qualified and experienced person. Discretion is restricted to: a. The risk from coastal hazards to people and property and any measures to reduce or mitigate this risk; b. The management of vegetation or other natural features to mitigate natural hazard risk; c. The potential for there to be an increase in the risk of coastal erosion to either neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings. d. Any potential impacts on the natural environment or changes in natural processes as a result of any natural hazard mitigation measures used to reduce the risk to the building; e. In respect to Community Facilities, Retirement Homes, Healthcare Facilities, Childcare Services and Educational Facilities the ability for people to be able to safely evacuate from the site in a coastal hazard event; and f. In respect to Emergency Facilities the ability for emergency vehicles and services to be able to operate during and after a coastal hazard event	Activity status where compliance not achieved: Non-complying
NH - R7	The construction of buildings, and additions to buildings, that will contain Hazard Sensitive Activities or Potentially Hazard Sensitive Activities and are within a Severe Natural Hazard Overlay
Activity Status Restricted Discretionary Where: 1. The construction is within Māori Purpose Zone land; and 2. This is accompanied by a natural hazard risk assessment prepared by a suitably qualified and experienced person. Discretion is restricted to: a. The risk from natural hazards to people and property and any measures to reduce or mitigate this risk; b. The management of vegetation or other natural features to mitigate natural hazard risk; c. The potential for there to be an increase in the risk to either neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings. d. Any potential impacts on the natural environment or changes in natural processes as a result of any natural hazard mitigation measures used to reduce the risk to the building. e. In respect to Community Facilities and Educational Facilities the ability for people to be able to safely evacuate from the site in a natural hazard event; f. In respect to Emergency Facilities the ability for emergency vehicles and services to be able to operate during and after a natural hazard event.	Activity status where compliance not achieved: Non-complying
Discretionary Activities	

NH - R8	Repairs, Maintenance, Upgrade to Existing Natural Hazard Mitigation Structures and New Natural Hazard Mitigation Structures not meeting Restricted Discretionary Activity Standards	
Activity Status Discretionary Advice Notes: 1. Where any natural hazard mitigation structure is also located in the Coastal Environment or another Overlay Chapter area as identified on the planning maps and in the Schedules 1-8 then resource consent may be required under the relevant Overlay Chapter rules. 2. A West Coast Regional Council resource consent may be required under the West Coast Regional Land and Water Plan and/or Regional Coastal Plan.		Activity status where compliance not achieved: N/A
Non-complying Activities		
NH - R9	The construction of buildings that will contain a residential unit within the Flood Severe Overlay, Earthquake Severe Overlay or Coastal Hazard Erosion and Inundation Overlay or; The construction of buildings, and additions to buildings, that will contain Hazard Sensitive Activities or Potentially Hazard Sensitive Activities and are within the Scenic Visitor Zone and within the Coastal Hazard Erosion and Inundation Overlay; or The construction of buildings, and additions to buildings, that will contain Hazard Sensitive Activities or Potentially Hazard Sensitive Activities and are within or the Māori Purpose Zone; not meeting the Restricted Discretionary Activity Standards	
Activity Status Non-complying		Activity status where compliance not achieved: N/A
Rules - Flood Severe Overlay and Flood Susceptibility Overlay		
Permitted Activities		
NH - R10	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Flood Susceptibility and Flood Severe Hazard Overlays	
Activity Status Permitted		Activity status where compliance not achieved: N/A
NH - R11	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities in the Flood Susceptibility Hazard Overlays	
Activity Status Permitted Where: 1. Any new buildings or additions for Potentially Hazard Sensitive Activities have a minimum finished floor level of 300mm above a 1% annual exceedance probability flood event. 2. Any new buildings or additions for Hazard Sensitive Activities have a minimum finished floor level of 500mm above a 1% annual exceedance probability flood event.		Activity status where compliance not achieved: Restricted Discretionary
Restricted Discretionary Activities		
NH - R12	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities not meeting Permitted Activity Standards in the Flood Susceptibility Hazard Overlays	

Activity Status Restricted Discretionary Discretion is restricted to: - The risk to people and buildings on the site from the 1% Annual Exceedance Probability Flood and the mitigation measures to reduce this risk. - The risk to people and buildings on adjacent properties from the 1% Annual Exceedance Probability Flood, and the mitigation measures to reduce this risk. - The impacts of the building on the conveyance of flood waters, including any potential for flood waters to be blocked or diverted onto adjacent properties		Activity status where compliance not achieved: N/A
Non-complying Activities		
NH - R13	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities in the Flood Severe Hazard Overlay.	
Activity Status Non-complying		Activity status where compliance not achieved: N/A

Rules - Earthquake Susceptibility and Earthquake Severe Hazard Overlays - All

Permitted Activities		
NH - R14	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Earthquake Susceptibility and Earthquake Severe Hazard Overlays	
Activity Status Permitted		Activity status where compliance not achieved: N/A
Restricted Discretionary Activities		
NH - R15	Additions to Existing Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities in the Earthquake Susceptibility and Earthquake Severe Hazard Overlays	
Activity Status Restricted Discretionary Where: - The additions are not to a Critical Response Facility. Discretion is restricted to: - The location of the addition or building in relation to the fault trace; and - Consideration of the mitigation measures incorporated into the addition to minimise the risk to life to the occupants and maintain the structural integrity of the building in the event of a fault rupture.		Activity status where compliance not achieved: Non-complying
NH - R16	New Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities in the Earthquake Susceptibility Hazard Overlays	
Activity Status Restricted Discretionary Where: - A hazard risk assessment undertaken by a suitably qualified and experienced geotechnical or geological specialist is provided; and - The new building is not a Critical Response Facility. Discretion is restricted to: - The recommendations of the hazard risk assessment; - The location, design and construction materials of the building, vehicle access and regionally significant infrastructure in relation to the likely fault deformation area; and		Activity status where compliance not achieved: Non-complying

c. Consideration of the mitigation measures incorporated into the building to minimise the risk to life to the occupants and maintain the structural integrity of the building in the event of a fault rupture.	
Non-complying Activities	
NH - R17	New Buildings containing Potentially Hazard Sensitive Activities or Hazard Sensitive Activities in the Earthquake Severe Hazard Overlay
Activity Status Non-complying Where: 1. The new building is not a Critical Response Facility.	Activity status where compliance not achieved: Prohibited
Prohibited Activities	
NH - R18	New Buildings containing Critical Response Facilities in the Earthquake Severe Hazard Overlay
No application for resource consent will be accepted for this activity	
Rules - Land Instability Overlay	
Permitted Activities	
NH - R19	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Land Instability Hazard Overlay
Activity Status Permitted	Activity status where compliance not achieved: N/A
Restricted Discretionary Activities	
NH - R20	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Land Instability Overlay
Activity Status Restricted Discretionary Where: 1. A geotechnical assessment prepared by a suitably qualified and experienced geotechnical engineer is provided. Discretion is restricted to: a. Requirements for measures in relation to building location, design or construction that, if carried out, will be adequate to avoid any damage to the proposed building work or to any adjoining or downslope property and its identified values, arising from slope instability during the useful life of the building or structure; and b. Requirements for geotechnical certification that subject to those measures specified: i. The proposed building or structure will not be likely to be subject to damage from slope instability during its useful life; and ii. The proposed works will not be likely to result in or contribute to damage to any adjoining or downslope property and its identified values within or adjoining the natural hazard overlay — land instability alert.	Activity status where compliance not achieved: Non-complying
Non-complying Activities	
NH - R21	Additions to Existing Buildings and New buildings containing Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Land Instability Overlay not meeting Restricted Discretionary Activity Standards
Activity Status Non-complying	Activity status where compliance not achieved: N/A
Rules for the Coastal Hazard Erosion and Inundation Overlay and Coastal Hazard Inundation Overlay	

Permitted Activities

NH - R22	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Coastal Hazard Erosion and Inundation Overlay and Coastal Hazard Inundation Overlay 1
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Activity Status Permitted

Activity status where compliance not achieved: N/A

NH - R23	Additions to Existing Buildings containing Potentially Hazard Sensitive Activities in the Coastal Hazard Erosion and Inundation Overlay and Coastal Hazard Inundation Overlay 1
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Activity Status Permitted

Where:

1. Any increase in net floor area of any building meets a minimum finished floor level of 300mm above a 1% annual exceedance probability (AEP) plus 1m sea level rise coastal event .

Activity status where compliance not achieved:
Restricted Discretionary

Restricted Discretionary Activities

NH - R24	Additions to Existing Buildings containing Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 1
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Activity Status Restricted Discretionary**Discretion is Restricted to:**

- a. The risk from coastal hazards on people and property and any measures to reduce or mitigate this risk;
- b. The management of vegetation or other natural features to mitigate natural hazard risk;
- c. The potential for there to be an increase in the risk of coastal erosion to neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings; and
- d. Any potential impacts on the natural environment or changes in natural processes as a result of any natural hazard mitigation measures used to reduce the risk to the building.

Activity status where compliance not achieved: N/A

NH - R25	New Buildings containing Potentially Hazard Sensitive Activities in the Coastal Hazard Erosion and Inundation Overlay or Coastal Hazard Inundation Overlay 1 or Additions not meeting a Permitted Activity Standard
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Activity Status Restricted Discretionary**Discretion is restricted to:**

- a. The risk from coastal hazards on people and property and any measures to reduce or mitigate this risk;
- b. The management of vegetation or other natural features to mitigate natural hazard risk;
- c. The potential for there to be an increase in the risk of coastal erosion to neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings; and
- d. Any potential impacts on the natural environment or changes in natural processes as a result of any natural hazard mitigation measures use to reduce the risk to the building.

Activity status where compliance not achieved:
N/A

NH - R26	New Buildings containing Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 1
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Activity Status Restricted Discretionary Where: 1. This is accompanied by a natural hazard risk assessment prepared by a suitably qualified and experienced person. Discretion is restricted to: a. The risk from coastal hazards on people and property and any measures to reduce or mitigate this risk; b. The management of vegetation or other natural features to mitigate natural hazard risk; c. The potential for there to be an increase in the risk of coastal erosion to neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings; and d. Any potential impacts on the natural environment or changes in natural processes as a result of any natural hazard mitigation measures used to reduce the risk to the building.	Activity status where compliance not achieved: Non - complying
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Non-complying Activities

NH - R27	Additions to Existing Buildings and New Buildings containing Hazard Sensitive Activities in the Coastal Hazard Erosion and Inundation Overlay
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Activity Status Non-complying	Activity status where compliance not achieved: N/A
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Coastal Inundation Overlay 2

Permitted Activities

NH - R28	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities and Potentially Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 2
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Activity Status Permitted	Activity status where compliance not achieved: N/A
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NH - R29	Additions to Existing Buildings containing Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 2
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Activity Status Permitted	Activity status where compliance not achieved: N/A
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Restricted Discretionary Activities

NH - R30	New Buildings containing Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 2
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Activity Status Restricted Discretionary Where: 1. This is accompanied by a natural hazard risk assessment prepared by a suitably qualified and experienced person. Discretion is restricted to: a. The risk from coastal hazards on people and property and any measures to reduce or mitigate this risk; b. The management of vegetation or other natural features to mitigate natural hazard risk; c. The potential for there to be an increase in the risk of coastal erosion to neighbouring properties or Regionally Significant Infrastructure from either the design of the proposed development or any mitigation measures to reduce the risk to future occupants or buildings; and d. Any potential impacts on the natural environment or changes in	Activity status where compliance not achieved: Non - complying
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natural processes as a result of any natural hazard mitigation measures used to reduce the risk to the building.	
Non-complying Activities	
NH - R31	New Buildings for Hazard Sensitive Activities in the Coastal Hazard Inundation Overlay 2 not meeting Restricted Activity Standards
Activity Status Non-complying	Activity status where compliance not achieved: N/A

Hokitika Coastal Hazard Overlay

Permitted Activities

NH - R32	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Hokitika Coastal Hazard Overlay
Activity Status Permitted	Activity status where compliance not achieved: N/A

NH - R33	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Hokitika Coastal Hazard Overlay
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Activity Status Permitted Where: 1. New buildings or additions to existing buildings have a minimum floor level as follows: i. Buildings or additions containing Hazard Sensitive Activities 500mm above the 1% annual exceedance probability plus 1m sea level rise coastal event; ii. Buildings or additions containing Potentially Hazard Sensitive Activities - 300mm above the 1% annual exceedance probability plus 1m sea level rise coastal event.	Activity status where compliance not achieved: Discretionary
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Discretionary Activities

NH - R34	New Buildings in the Hokitika Coastal Hazard Overlay not meeting Permitted Activity standards
Activity Status Discretionary	Activity status where compliance not achieved: N/A

Westport Hazard Overlay

Permitted Activities

NH - R35	Additions to Existing Buildings and New Buildings containing Less Hazard Sensitive Activities in the Westport Hazard Overlay
Activity Status Permitted	Activity status where compliance not achieved: N/A

NH - R36	Additions to Existing Buildings and New Buildings containing Potentially Hazard Sensitive Activities and Hazard Sensitive Activities in the Westport Hazard Overlay
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Activity Status Permitted Where: 1. New buildings or additions to existing buildings have a minimum floor level as follows:	Activity status where compliance not achieved: Discretionary
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i. Buildings or additions containing Hazard Sensitive Activities - 500mm above a 1% annual exceedance probability plus 1m sea level rise coastal event and a 1% annual exceedance probability flood event; and ii. Buildings or additions containing Potentially Hazard Sensitive Activities - 300mm above a 1% annual exceedance probability plus 1m sea level rise coastal event and a 1% annual exceedance probability flood event.		
Advice Note: The finished floor level required shall be obtained from West Coast Regional Council.		
Discretionary Activities		
NH - R37	New Buildings and Additions and Alterations to Existing Buildings in the Westport Hazard Overlay not meeting Permitted Activity Standards.	
Activity Status Discretionary		Activity status where compliance not achieved: N/A

Executive summary

The West Coast Regional Council (WCRC) is undertaking a review of its Regional Coastal Plan, which was made operative in 2000. As part of this, WCRC is taking the opportunity to review the 18 Coastal Hazard Areas (CHAs) identified in Schedule 3.3 of the Regional Coastal Plan.

The scope of the CHA review involves determining:

- Whether the current CHAs should stay the same (that is, if there are no changes to the area or the hazard risk);
- Whether any of the CHAs need to be removed (that is, if there is no longer a hazard threat), or changed in size or location;
- Whether any new hazard areas need to be added; and
- If possible, whether the hazard risk is low, medium or high, having regard to the criteria in Policy 24 on the New Zealand Coastal Policy Statement 2010.

This report details the outcomes of this CHA review, undertaken using a combination of literature review and virtual and actual site visits. 26 CHAs are recommended, which include some existing CHAs, some new CHAs, and some where boundaries (lateral extent along the coast) have been altered.

CHAs have been identified and prioritised based on a risk assessment which considers not only the level of hazard, but also assets at risk. Extensive stretches of the West Coast which experience high levels of hazard from erosion and flooding have not been included in CHAs because they have no/few assets at risk. Similarly, CHAs may be given low priority because of the small amount of at-risk assets, even though the hazards are severe.

A summary list of the CHAs described in this report is given overleaf. For each CHA a table is included in the main report with details of: the CHA location, assets at risk in the CHA, hazard processes affecting the CHA, factors influencing the priority assessment, existing management of hazards in the CHA, relevant references, recommendations for further analysis of the hazard and other notes. Specific recommendations for further investigation of hazards are given for all the high priority and some of the medium priority CHAs.

This CHA review was originally carried out in 2012 but has been updated in 2014, 2015 and 2021. Detailed hazard mapping for several CHAs was underway in December 2021 for the Te Tai o Poutini Plan and will provide more detail on the hazard processes, degree of hazard, and inland extent of hazard areas for those CHAs.

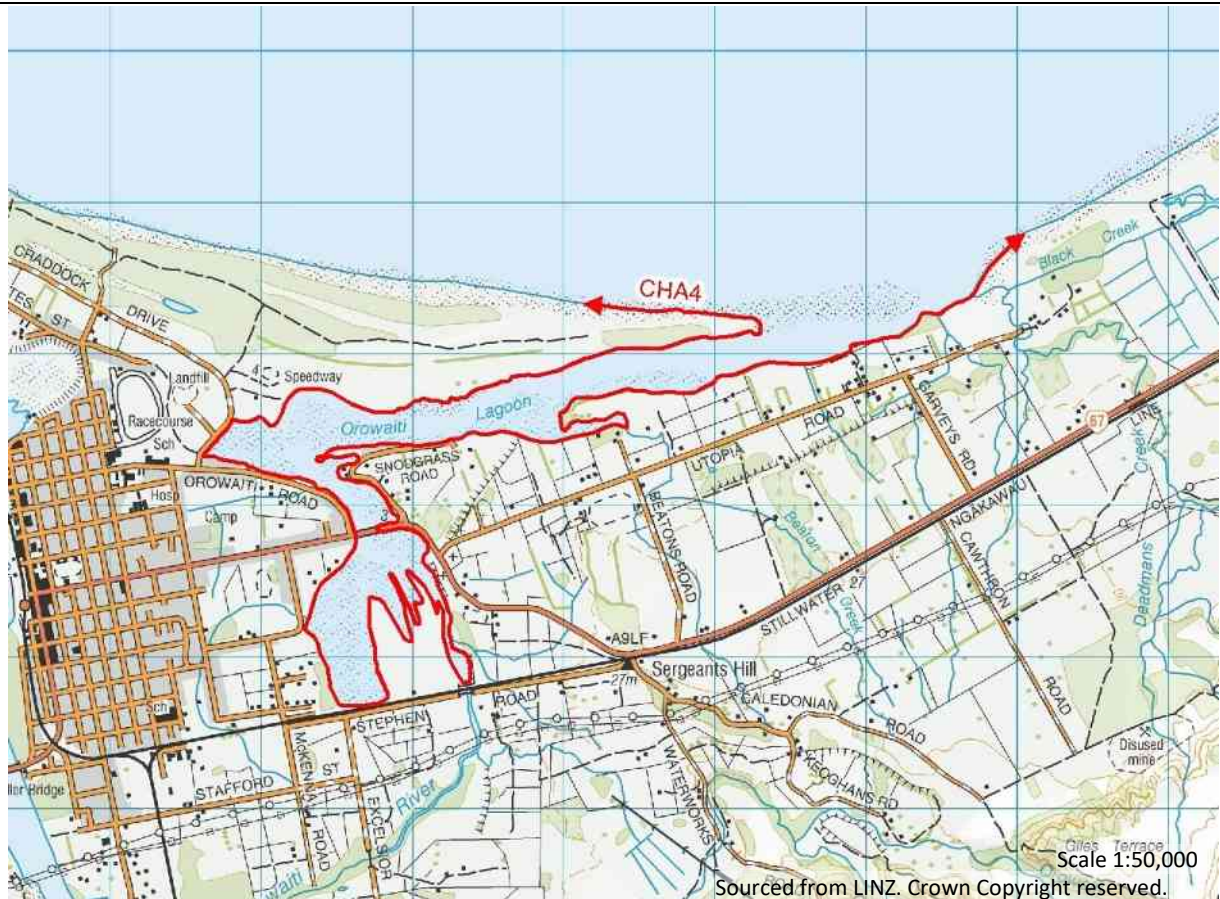
Table 1-1: Summary of West Coast coastal hazard areas. Further details on each CHA area available in Section 3 of this report.

CHA	Location	Priority	Status in 2012	Updates since 2012	Recommendations
CHA 1	Karamea	Medium	Existing		
CHA 2	Mokihinui	Medium	Existing		
CHA 3	Hector, Ngakawau and Granity	High	Existing		
CHA 4	Orowaiti Lagoon	High	New	May 2021	
CHA 5	Carters Beach	Medium	New		Monitor erosion rates
CHA 6	Omau	Medium	New		Monitor cliff retreat
CHA 7	Tauranga Bay	Low	Existing		
CHA 8	Nine Mile Beach	Low	Existing (split)	May 2021	
CHA 9	Little Beach	Medium	Existing (split)		
CHA 10	Woodpecker Bay	Medium	Existing	May 2021	
CHA 11	Maungahura Point to Meybille Bay	Low	New	May 2021	
CHA 12	Punakaiki Village (Pororari Beach)	High	Existing	May 2021	Monitor beach profiles and seawall condition
CHA 13	Punakaiki River Beach	Medium	Existing		
CHA 14	Pakiroa (Barrytown) Beach	Medium	Existing		
CHA 15	17 Mile Bluff to 10 Mile Creek	Low	Existing	May 2021	
CHA 16	Rapahoe	High	Existing		
CHA 17	Cobden	Medium	Existing (split)		Develop hazard zones
CHA 18	Blaketown to Karoro	Medium	Existing (split)		Monitor shoreline change Research effects of gravel mining and training walls
CHA 19	South Beach to Camerons	Medium	New		
CHA 20	Taramakau	Low	Existing	Jan 2014, Dec 2015	
CHA 21	Hokitika	High	Existing	Dec 2015	Develop hazard zones
CHA 22	Ōkārito	Medium	Existing	May 2021	
CHA 23	Hunts Beach	Low	Existing	May 2021	
CHA 24	Bruce Bay	Low	Existing		
CHA 25	Haast Beach to Waiaototo	Medium	Existing	Extended & renamed Dec 2021	
CHA 26	Neils Beach to Jackson Bay	Medium	N/A	Added Dec 2015, Extended and renamed Dec 2021	

CHA4

Orowaiti Lagoon

This CHA covers the Orowaiti Lagoon and the coastline affected by the Orowaiti River mouth processes (from **BR20 900 788**, 1490040mE 5378800mN to **BR20 871 783**, 1487130mE 5378330mN). The northern limit of this CHA is the same as the southern limit of CHA3.



Assets at risk

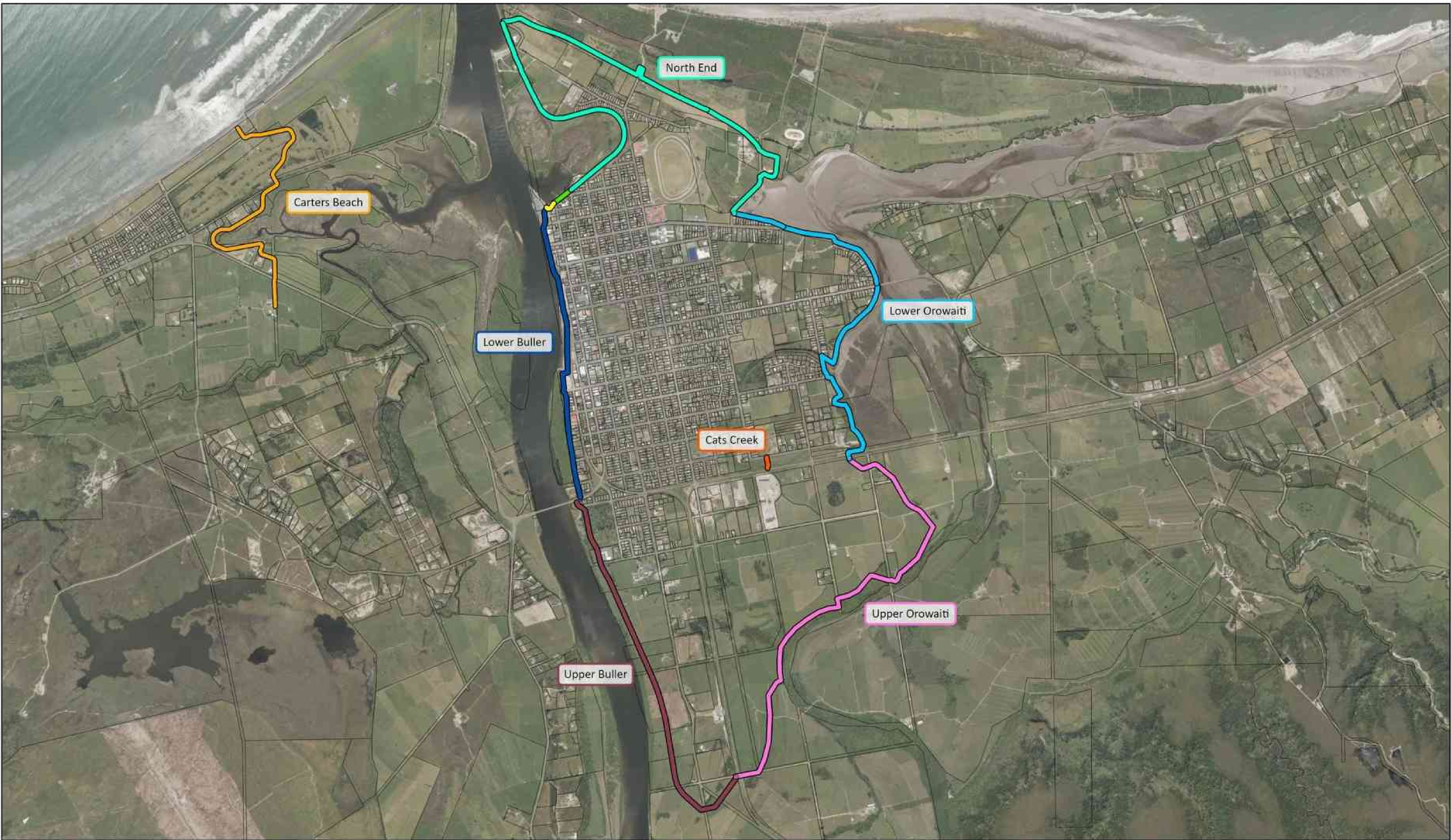
Buildings: Many existing houses around the lagoon shore are at risk from flooding and erosion. This includes properties along Snodgrass Road, Orowaiti Road and in low lying areas of northern Westport.

Road: The SH67 bridge approaches have been flooded from the lagoon and have also been affected by erosion requiring protection measures. Other minor roads are also threatened. Various 'paper' roads north of Utopia road have already been lost to erosion.

Farmland: Land north of Utopia Road has been lost to erosion. Some of this land is subdivided.

CHA4	Orowaiti Lagoon
Hazard processes	Flooding: There are extensive low lying areas around the lagoon where properties, roads and farmland are threatened by high tides, storm surges and river floods. Sea-level rise will significantly increase this risk in the future. Erosion: Erosion due to mouth migration (generally eastwards) has caused significant land loss in the past and is on-going. Mouth migration can change the exposure of the shore to wave action and can also cause erosion by river flows. Within the lagoon, local wind-waves and river floods can cause bank erosion.
Priority assessment	High: Houses and roads in low lying areas around Orowaiti Lagoon are at significant risk of flooding from the sea (and/or Buller River flood overflows into the Orowaiti). Within the lagoon the erosion hazard is not too severe and can be managed with the use of bank protection. At the lagoon mouth the hazard processes are much more severe and difficult to manage but there are fewer assets at risk.
Existing management	Around the lagoon various short sections of shoreline are armoured to prevent erosion. At the lagoon mouth several large groynes have been constructed on the South side of the mouth to try and prevent erosion/mouth migration. Several of these have already been outflanked. Some properties have raised floor levels to mitigate flood risk. Bunds alongside Snodgrass Road provide some protection from flooding, and culverts under the road have flapgates to allow drainage whilst preventing inflow from the sea. Flood hazard mapping is available from hydrodynamic modelling of river and coastal flood risk. Work is underway to develop a flood forecasting system for river and coastal inundation of Westport, including the Orowaiti Lagoon. This system is planned to be operational in 2022. Detailed analysis to map the inland extent of areas exposed to inundation and erosion hazard is currently underway (December 2021). This analysis will provide much greater detail than this report and will enable improved planning and management of risks.

CHA4	Orowaiti Lagoon
Relevant references	Allis, M., Bosserelle, C., Gardner, M. (in production) Assessment of High Coastal Hazard Areas for the West Coast: Supporting Te Tai o Poutini. NIWA report to West Coast Regional Council. Allis M. (2015) NIWA letter to Michael Meehan WCRC dated 6 May 2015 providing advice regarding proposed floodway cut options between the Orowaiti Lagoon and Tasman Sea. Allis, M.J, et al. (2017). <i>Managing and adapting to coastal erosion on the West Coast: Carters Beach</i>. NIWA Client Report 2017119HN, West Coast Regional Council: 36. Dennis, F.E. (1996) <i>Stability of Utopia Road Property</i>, prepared for Mr G R Millar by OCEL Consultants NZ Ltd. Gardner M. (2017) Buller River: Update of hydraulic model, <i>Land River Sea Consulting Ltd Report for West Coast Regional Council</i>. Goss, I.W. (2011) <i>Review of coastal hazard as it affects building siting at lot DP 12836, Utopia Road, Westport</i>, prepared for Mr and Mrs B. J. and L. A. A. Donaldson by OCEL Consultants NZ Ltd.
Recommendations	Development of hazard zones for this CHA is recommended. The existing flood mapping model should be used to simulate scenarios of severe storm surge in the absence of river flooding (the model currently focuses on risk from river flooding, so may possibly under-estimate hazard to property around the Orowaiti Lagoon). Flood hazard data should be included in property Land Information Memorandum (LIM) reports (whilst the existing flood mapping studies are publicly available this information has not been included in LIMs). Minimum floor levels for new developments should be specified based on flood mapping data.
Notes	This CHA was created as part of the 2012 review of coastal hazard areas. CHAs 3 and 4 are separated because they are each affected by different hazard processes. Following the extensive property flooding during ex-tropical cyclone Fehi the priority was increased to High. Extensive flooding of this area also occurred during the 2021 Buller River flood.



WEST COAST
REGIONAL COUNCIL

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Annotated Map for Media Release: Westport Flood Protection Scheme

Legend

- | | |
|----------------|-------------------|
| Cats Creek | North End |
| Upper Buller | Portable Barriers |
| Upper Orowaiti | Talley's |
| Lower Orowaiti | Carters Beach |
| Lower Buller | |

0 450 900 1,800
Metres

Date created: 27/06/2025, 1259
Author: oliver.rosa
Scale at A3: 1:25,000
Sourced from Land Information New Zealand data.
Crown copyright reserved.
Coordinate System: NZGD 2000 New Zealand Transverse Mercator
Projection: Transverse Mercator
Datum: NZGD 2000
Units: Meter



Buller 100 year ARI % Blockage RCP 6 Flood Model map



2021 Flood Level – Westport area and surrounds

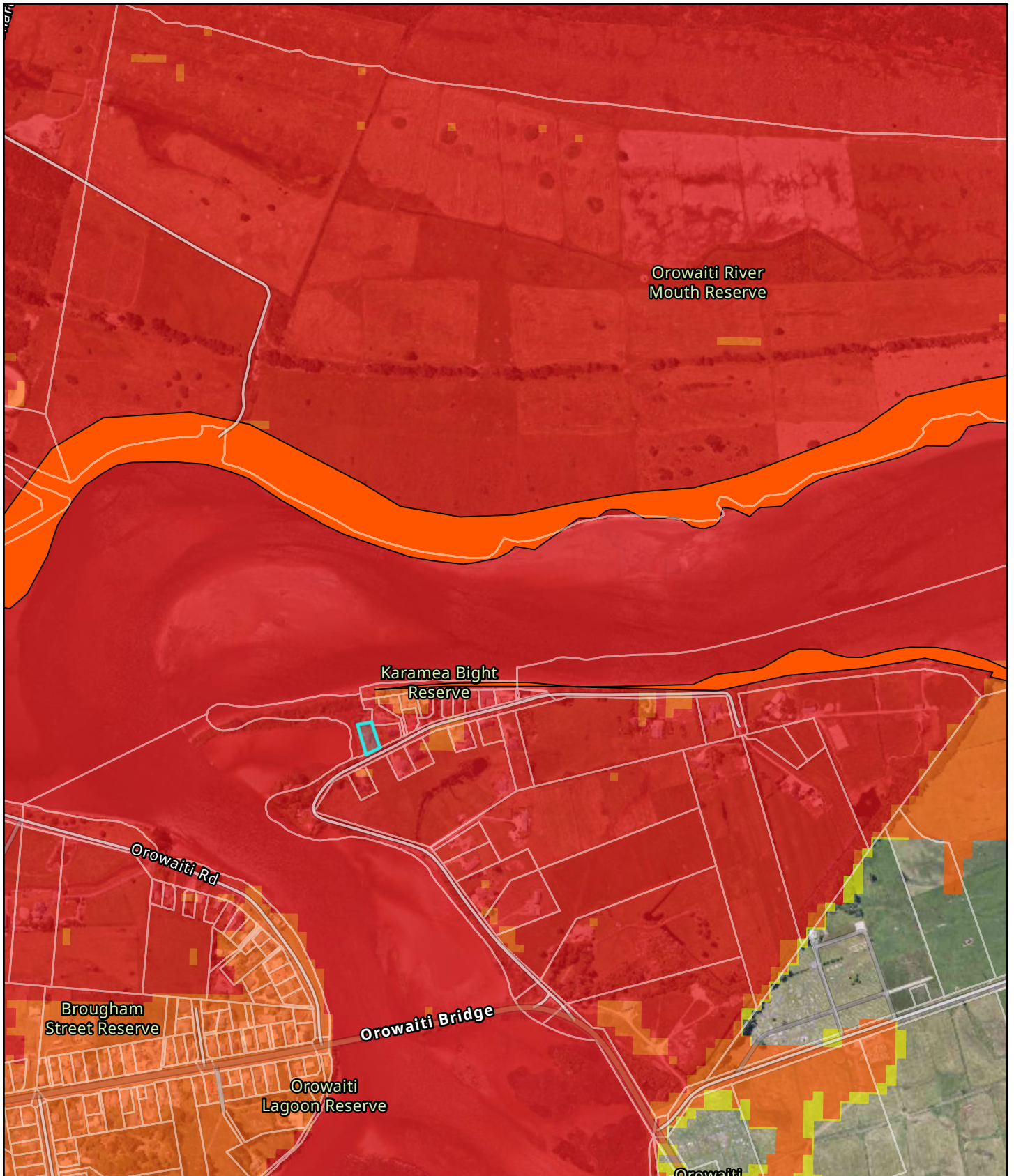


 BDC Property Master - Parcel
 LINZ NZ Roads - Addressing
 DOC Public Conservation Land
 Marginal Strip
 Reserve

 Conservation Area
 17 - 1
 New Zealand Imagery

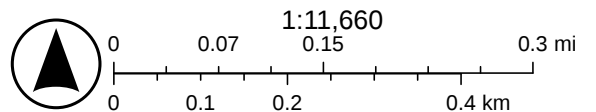
Image Technology, LLC, 10000 E. 17th, Suite 200, Denver, CO 80231
 303.755.8800
 www.image-tech.com

Tsunami Evacuation Zones



14/07/2026, 08:16:57

- BDC Property Master - Parcel
- Coastal Erosion and Inundation Overlay
- Tsunami Evacuation Zones
- Yellow
 - Orange
 - Red
- Offshore Fault Lines
- New Zealand Imagery



Eagle Technology, LINZ, StatsNZ, NIWA, Natural Earth, © OpenStreetMap contributors., Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors



Hazardous Activities and Industries List (HAIL)

October 2011

A Chemical manufacture, application and bulk storage

1. Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application
2. Chemical manufacture, formulation or bulk storage
3. Commercial analytical laboratory sites
4. Corrosives including formulation or bulk storage
5. Dry-cleaning plants including dry-cleaning premises or the bulk storage of dry-cleaning solvents
6. Fertiliser manufacture or bulk storage
7. Gasworks including the manufacture of gas from coal or oil feedstocks
8. Livestock dip or spray race operations
9. Paint manufacture or formulation (excluding retail paint stores)
10. Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds
11. Pest control including the premises of commercial pest control operators or any authorities that carry out pest control where bulk storage or preparation of pesticide occurs, including preparation of poisoned baits or filling or washing of tanks for pesticide application
12. Pesticide manufacture (including animal poisons, insecticides, fungicides or herbicides) including the commercial manufacturing, blending, mixing or formulating of pesticides
13. Petroleum or petrochemical industries including a petroleum depot, terminal, blending plant or refinery, or facilities for recovery, reprocessing or recycling petroleum-based materials, or bulk storage of petroleum or petrochemicals above or below ground
14. Pharmaceutical manufacture including the commercial manufacture, blending, mixing or formulation of pharmaceuticals, including animal remedies or the manufacturing of illicit drugs with the potential for environmental discharges
15. Printing including commercial printing using metal type, inks, dyes, or solvents (excluding photocopy shops)
16. Skin or wool processing including a tannery or fellmongery, or any other commercial facility for hide curing, drying, scouring or finishing or storing wool or leather products
17. Storage tanks or drums for fuel, chemicals or liquid waste
18. Wood treatment or preservation including the commercial use of anti-sapstain chemicals during milling, or bulk storage of treated timber outside

B Electrical and electronic works, power generation and transmission

1. Batteries including the commercial assembling, disassembling, manufacturing or recycling of batteries (but excluding retail battery stores)

2. Electrical transformers including the manufacturing, repairing or disposing of electrical transformers or other heavy electrical equipment
3. Electronics including the commercial manufacturing, reconditioning or recycling of computers, televisions and other electronic devices
4. Power stations, substations or switchyards

C Explosives and ordinances production, storage and use

1. Explosive or ordinance production, maintenance, dismantling, disposal, bulk storage or re-packaging
2. Gun clubs or rifle ranges, including clay targets clubs that use lead munitions outdoors
3. Training areas set aside exclusively or primarily for the detonation of explosive ammunition

D Metal extraction, refining and reprocessing, storage and use

1. Abrasive blasting including abrasive blast cleaning (excluding cleaning carried out in fully enclosed booths) or the disposal of abrasive blasting material
2. Foundry operations including the commercial production of metal products by injecting or pouring molten metal into moulds
3. Metal treatment or coating including polishing, anodising, galvanising, pickling, electroplating, or heat treatment or finishing using cyanide compounds
4. Metalliferous ore processing including the chemical or physical extraction of metals, including smelting, refining, fusing or refining metals
5. Engineering workshops with metal fabrication

E Mineral extraction, refining and reprocessing, storage and use

1. Asbestos products manufacture or disposal including sites with buildings containing asbestos products known to be in a deteriorated condition
2. Asphalt or bitumen manufacture or bulk storage (excluding single-use sites used by a mobile asphalt plant)
3. Cement or lime manufacture using a kiln including the storage of wastes from the manufacturing process
4. Commercial concrete manufacture or commercial cement storage
5. Coal or coke yards
6. Hydrocarbon exploration or production including well sites or flare pits
7. Mining industries (excluding gravel extraction) including exposure of faces or release of groundwater containing hazardous contaminants, or the storage of hazardous wastes including waste dumps or dam tailings

F Vehicle refuelling, service and repair

1. Airports including fuel storage, workshops, washdown areas, or fire practice areas
2. Brake lining manufacturers, repairers or recyclers
3. Engine reconditioning workshops
4. Motor vehicle workshops
5. Port activities including dry docks or marine vessel maintenance facilities

6. Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas
7. Service stations including retail or commercial refuelling facilities
8. Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances

G Cemeteries and waste recycling, treatment and disposal

1. Cemeteries
2. Drum or tank reconditioning or recycling
3. Landfill sites
4. Scrap yards including automotive dismantling, wrecking or scrap metal yards
5. Waste disposal to land (excluding where biosolids have been used as soil conditioners)
6. Waste recycling or waste or wastewater treatment

H Any land that has been subject to the migration of hazardous substances from adjacent land in sufficient quantity that it could be a risk to human health or the environment

I Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment

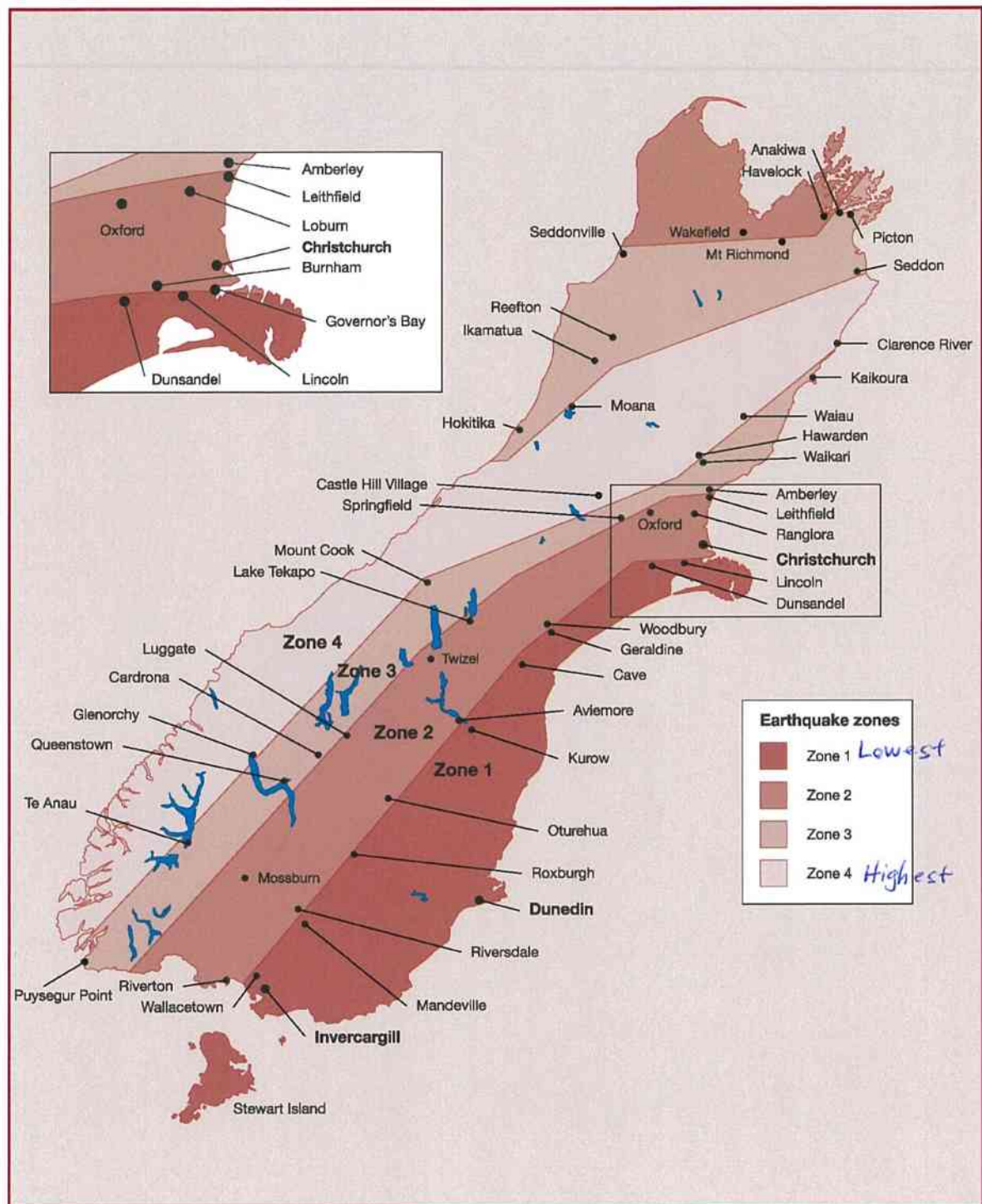


Figure 5.4 – Earthquake zones (continued) (see 5.3.2)



Figure 4.2 – Exposure zone map (continued) (see 4.2.2)

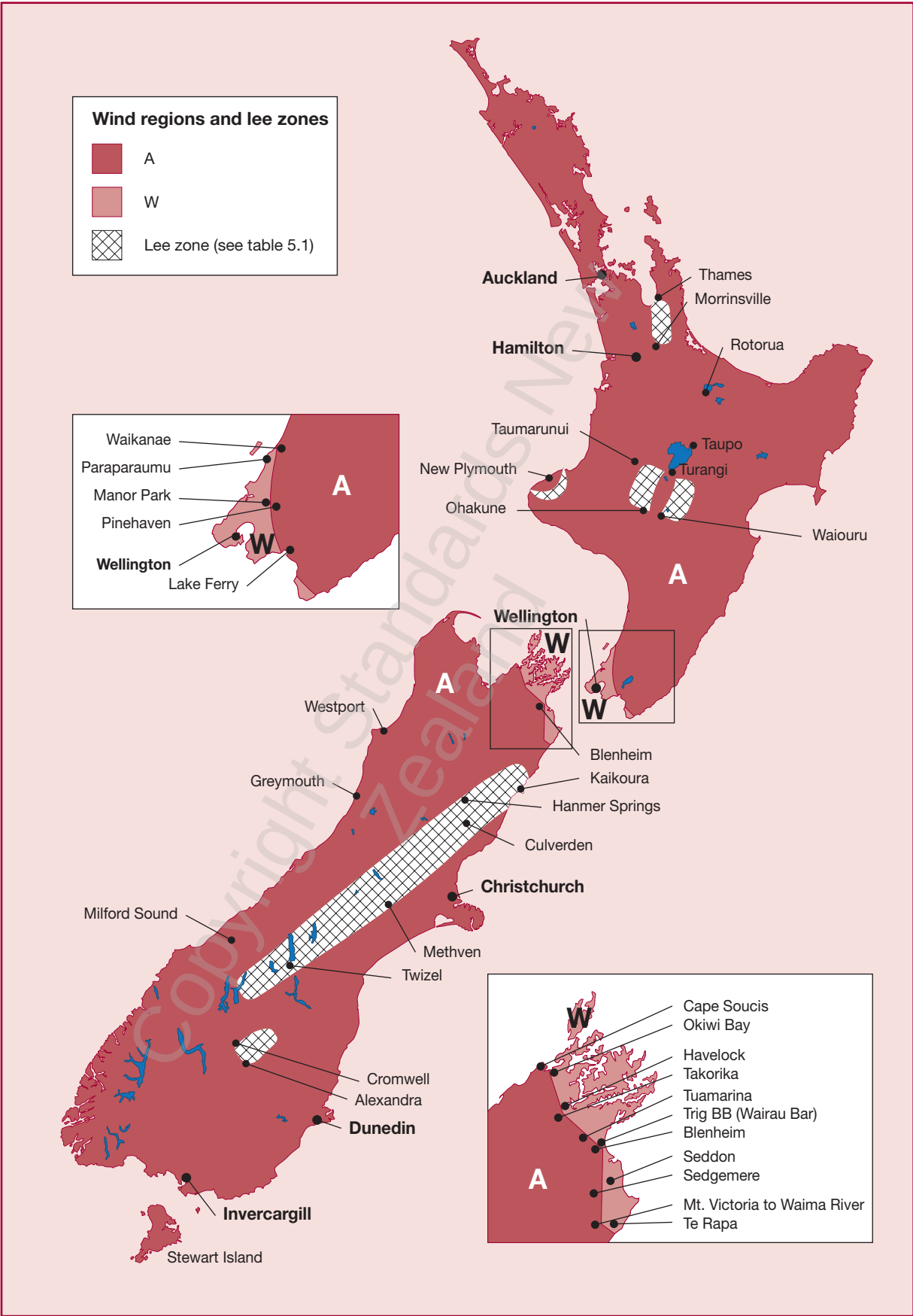


Figure 5.1 – Wind regions and lee zones (see 5.2.2)



14/07/2026, 08:14:20

NZ State Highways BDC
Water Point



Other Water Point

Water Line

Service

Gravity Main

Trunk Main

Private

Rising Main

Power Cable

All Other Pipes

Water Plant Polygon

Storm Water Point

Inspection Point

Manhole

Sump

Soakpit

Other SW Points

Storm Water Line

Service

Gravity Main

Culvert

Open Drain

Private

Other SW Lines

Storm Water Plant Polygon

Waste Water Point

Manhole

Valve

Rodding Eye

Y Junction

Other Sewer Points

Waste Water Line

Gravity Main

Rising Main

Service

Cable Duct

Private

Other WW Lines

Waste Water Plant Polygon

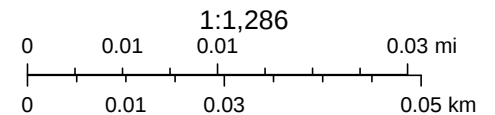
Pump House

All Other Sewer Plants

LINZ NZ Addresses

BDC Property Master - Parcel

New Zealand Imagery



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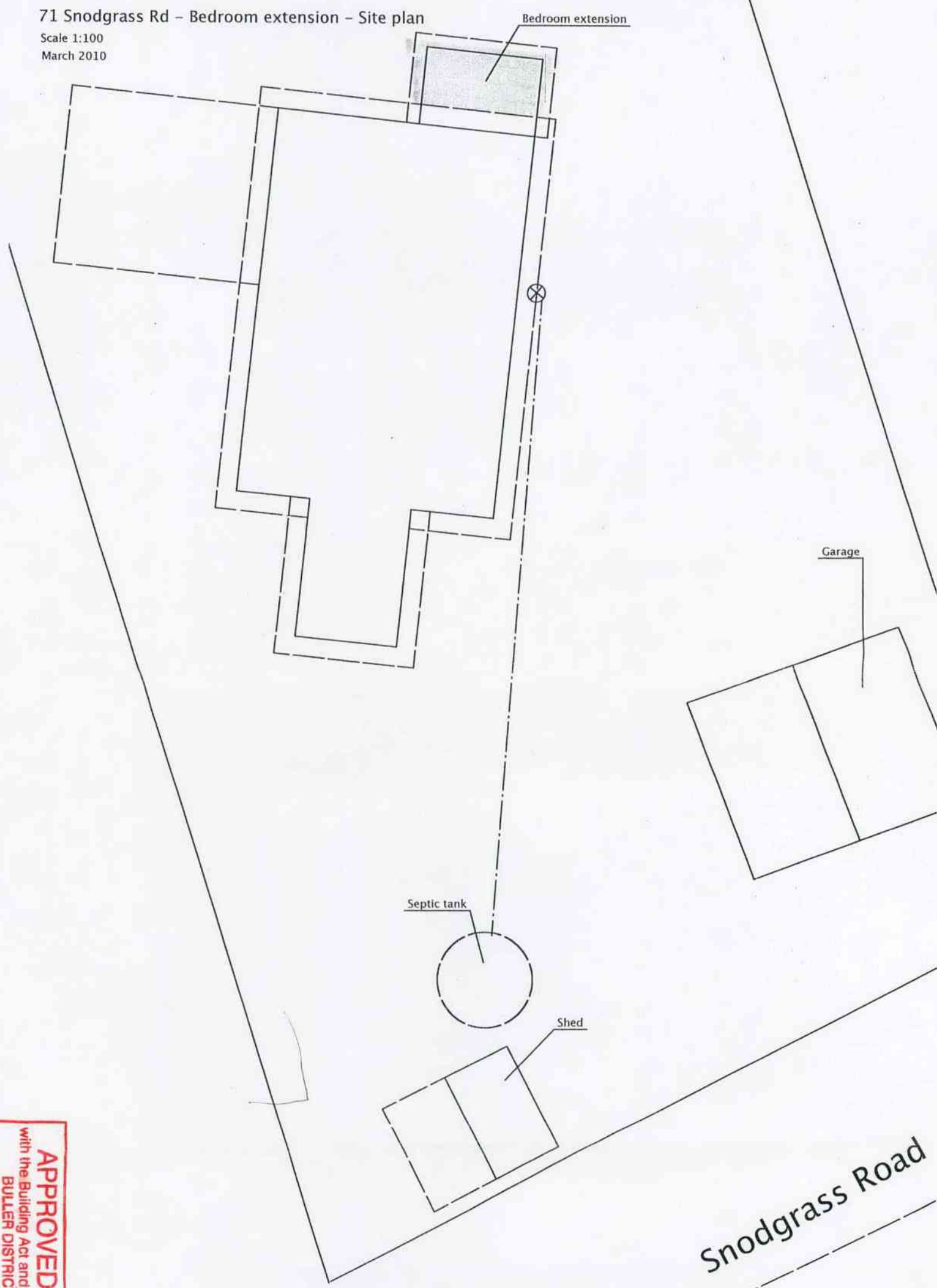
Truncated site plan

TO SCALE - 1:100

71 Snodgrass Rd - Bedroom extension - Site plan

Scale 1:100

March 2010



APPROVED in compliance
with the Building Act and NZ Building Codes
BULLER DISTRICT COUNCIL
Inspector *RS/9/10* Date *15/9/10*

Snodgrass Road

1000121

1B

**Form 5****Building consent - BC190035***Section 51, Building Act 2004***The building**

Street address of building: 71 Snodgrass Road, RD 2, Westport 7892

Legal description of land where building is located: Sec 1 Orowaiti Blk III Kawatiri SD

Building name:

Location of building within site/block number: 71 Snodgrass Road, RD 2, Westport 7892

Level/unit number:

The owner

Name of owner: Peter Graham

Contact person:

Mailing address: 71 Snodgrass Rd
Rd2 Ext
Westport
Westport 7892

Street address/registered office: 71 Snodgrass Rd
Rd2 Ext
Westport
Westport 7892

Phone number: Landline: 0212712846 Mobile: 0212712846

Daytime: No information provided

After hours: No information provided

Facsimile number:

Email address: pete@prgraphix.co.nz

Website: No information provided

First point of contact for communications with the building consent authority:
Peter Graham; Mailing Address: 71 Snodgrass Rd
Rd2 Ext
Westport
Westport 7892; Phone: 0212712846; Email: pete@prgraphix.co.nz

Building work

The following building work is authorised by this building consent:

Install replacement wood burner, Metro woodburner - original damaged in cyclone Fehi

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the

construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Conditions

This building consent is subject to the following conditions:

Section 90 - Inspections by Building Consent Authorities: (1) Every building consent is subject to the condition that agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

(2) The provisions (if any) that are endorsed on a building consent in relation to inspection during the carrying out of building work must be taken to include the provisions of this section.

(3) In this section, inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with a building consent.

Compliance schedule

A compliance schedule is not required for the building.

Inspections

The following inspections are required:

- Final

Copies of all site reports/records must be provided to the Building Consent Authority as work proceeds for their

records, please forward these to bca@bdc.govt.nz referencing the building consent number.

Attachments

Copies of the following documents are attached to this building consent:

- Advice notes / Endorsements

Signature: Ritchie White

Position: Building Inspector

On behalf of: Buller District Council

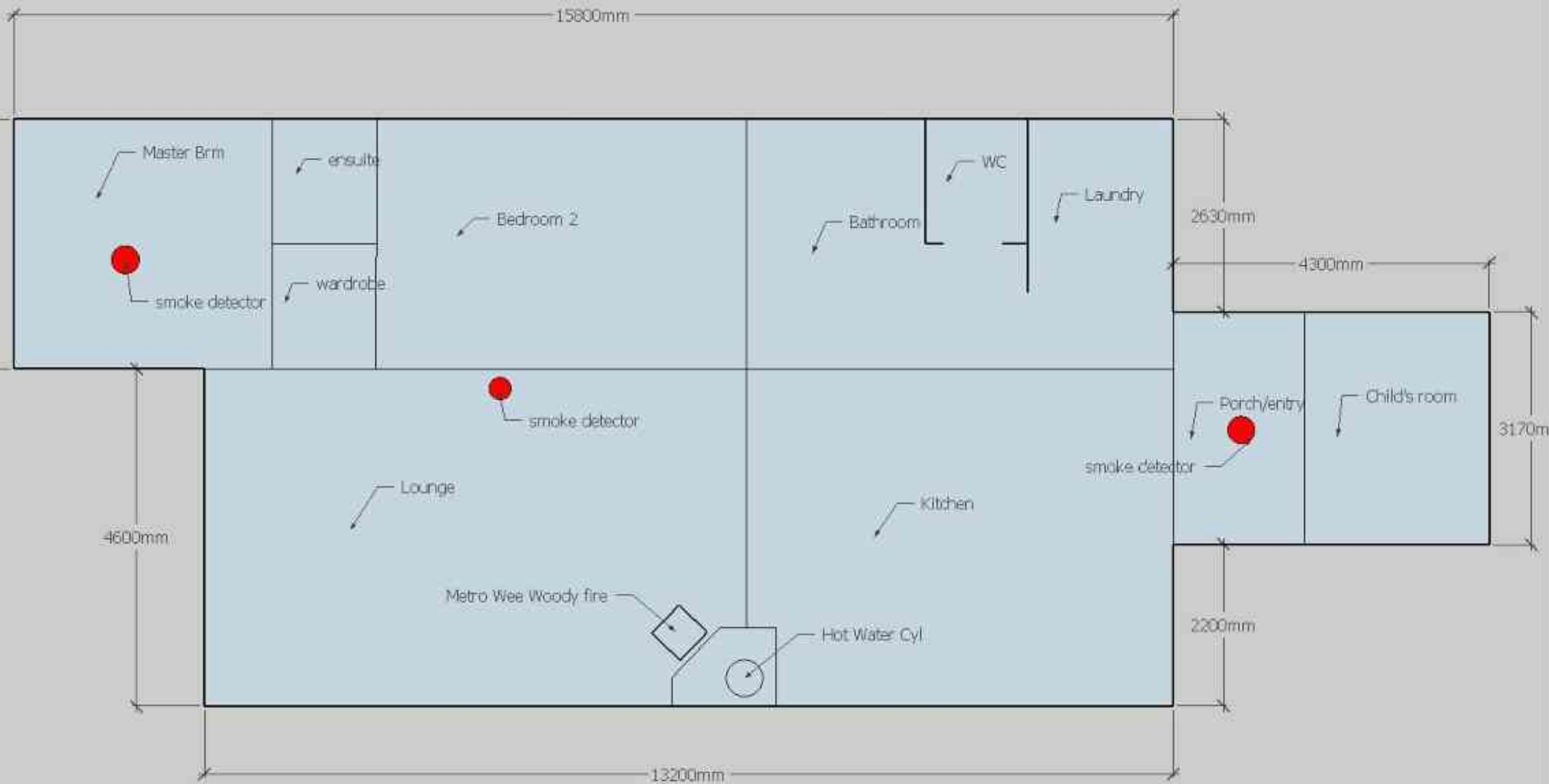
Issue Date: 25 March 2019

Advice notes / Endorsements

Site Safety - Please ensure all appropriate site safety measures are provided throughout the contract works to comply with NZ Building Code Clause F5 and all occupational safety and health requirements.

Solid Fuel Burning Appliance - It is the owners responsibility to ensure any curtains, drapes or other such combustibles which would present risk of fire are kept tied back so as not to encroach within the safety clearance of the appliance.

BDCAN01 - Solid fuel heater installation: The ceiling plate is to be left down so that clearances and distances to combustible materials can be inspected.



Form 7

Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 71 Snodgrass Road, RD 2, Westport 7892
 Legal description of land where building is located: Sec 1 Orowaiti Blk III Kawatiri SD
 Building name: N/A
 Location of building within site/block number: 71 Snodgrass Road, RD 2, Westport 7892
 Level/unit number: N/A
 Current, lawfully established, use: 2.0 Housing: 2.0.2 Detached Dwelling
 Year first constructed: 1975

The owner

Name of owner: Peter Graham
 Contact person: Peter Graham
 Mailing address: 71 Snodgrass Rd, Rd2 Ext, Westport, Westport
 Street address/registered office: 71 Snodgrass Rd, Rd2 Ext, Westport, Westport
 Phone number: Landline: 0212712846 Mobile: 0212712846
 Daytime: Landline: 0212712846 Mobile: 0212712846
 After hours: Landline: 0212712846 Mobile: 0212712846
 Facsimile number: No information provided
 Email address: pete@prgraphix.co.nz
 Website: No information provided
 First point of contact for communications with the council/building consent authority:
 Peter Graham; Mailing Address: 71 Snodgrass Rd
 Rd2 Ext
 Westport
 Westport 7892; Phone: 0212712846; Email: pete@prgraphix.co.nz

Building work

Building consent number: BC190035
 Description: Install replacement wood burner, Metro woodburner - original damaged in cyclone Fehi
 Issued by: Buller District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
 the building work complies with the building consent.

Signature: Richard Knudsen

Position: Senior Building Inspector

On behalf of: Buller District Council

Date: 11 July 2019

Form 5

Building consent - BC180152

Section 51, Building Act 2004



The building

Street address of building: 71 Snodgrass Road, Westport
Legal description of land where building is located: Sec 1 Orowaiti Blk III Kawatiri SD
Building name:
Location of building within site/block number: 71 Snodgrass Road, Westport
Level/unit number:

The owner

Name of owner: Ruth Lillian Vaega
Contact person: Peter Graham
Mailing address: 71 Snodgrass Road, RD 2, Westport 7892
Street address/registered office: 71 Snodgrass Road, RD 2, Westport 7892
Phone number: Landline: Mobile:
Daytime: No information provided
After hours: No information provided
Facsimile number:
Email address: pete@prgraphix.co.nz
Website: No information provided
First point of contact for communications with the building consent authority:
Ruth Lillian Vaega; Mailing Address: 71 Snodgrass Road
RD 2
Westport 7892; Email: pete@prgraphix.co.nz

Building work

The following building work is authorised by this building consent:
Repile of dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Conditions

This building consent is subject to the following conditions:

Section 71 - 73: As the building is on land subject to a natural hazard specifically inundation, the Building Consent Authority will on issue of the building consent, notify the consent to the Registrar-General of Land in accordance with section 73 of the Building Act 2004. As this alteration is to lift the dwelling above the last

known flood level to comply with E1.3.2, Council will not endorse the certificate freehold register.

Section 90 - Inspections by Building Consent Authorities: (1) Every building consent is subject to the condition that agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

(2) The provisions (if any) that are endorsed on a building consent in relation to inspection during the carrying out of building work must be taken to include the provisions of this section.

(3) In this section, inspection means the taking of all reasonable steps to ensure that building work is being carried out in accordance with a building consent.

Compliance schedule

A compliance schedule is not required for the building.

Inspections

The following inspections are required:

- Prepour
- Sub-floor framing
- Framing / Pre-wrap
- Final

Documents required

Prepour

- Form 6a - LBP record of building work - Foundations

Copies of all site reports/records must be provided to the Building Consent Authority as work proceeds for their

records, please forward these to bca@bdc.govt.nz referencing the building consent number.

Attachments

Copies of the following documents are attached to this building consent:

- Advice notes / Endorsements

Signature: Richard Knudsen

Position: Senior Building Inspector

On behalf of: Buller District Council

Issue Date: 06 September 2018

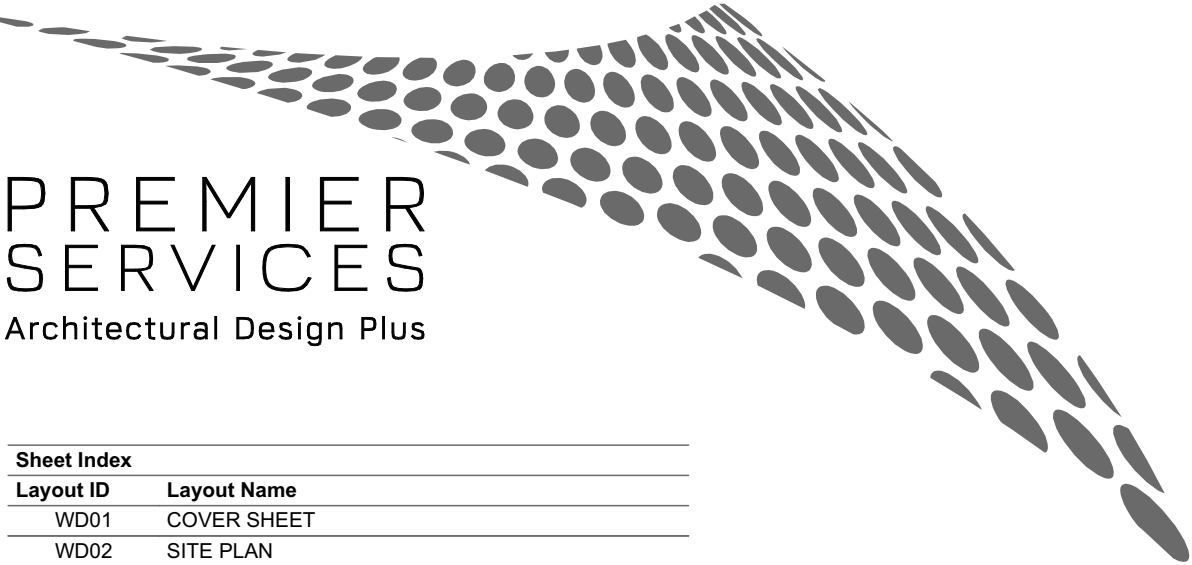
Advice notes / Endorsements

Hazardous materials

As with any construction project there is a likelihood that some materials used may potentially emit quantities of gas, liquid, radiation or solid particles i.e. glues, paints, dust or particles from insulation etc. that could be harmful. Please ensure spaces remain well ventilated and clean to mitigate potential build-up or concentration of these.

Site safety

Please ensure all appropriate site safety measures are provided throughout the contract works to comply with NZ Building Code Clause F5 and all occupational safety and health requirements.



PREMIER
SERVICES
Architectural Design Plus

Sheet Index	
Layout ID	Layout Name
WD01	COVER SHEET
WD02	SITE PLAN
WD03	EXISTING FLOOR PLAN
WD04	ALTERED FLOOR PLAN
WD05	ELEVATIONS
WD06	FOUNDATION PLAN
WD07	FLOOR JOIST LAYOUT
WD08	ENTRY DECK LAYOUT PLANS
WD09	ROOF FRAMING PLAN
WD10	CROSS SECTION A-A & B-B
WD11	CROSS SECTION C-C
WD12	DETAILS
WD13	DETAILS
WD14	DETAILS
WD15	DETAILS
WD16	WINDOW DETAILS

GENERAL NOTES

DIMENSIONS NOTED ON THESE DRAWINGS ARE FROM STRUCTURAL SURFACES UNLESS OTHERWISE INDICATED. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

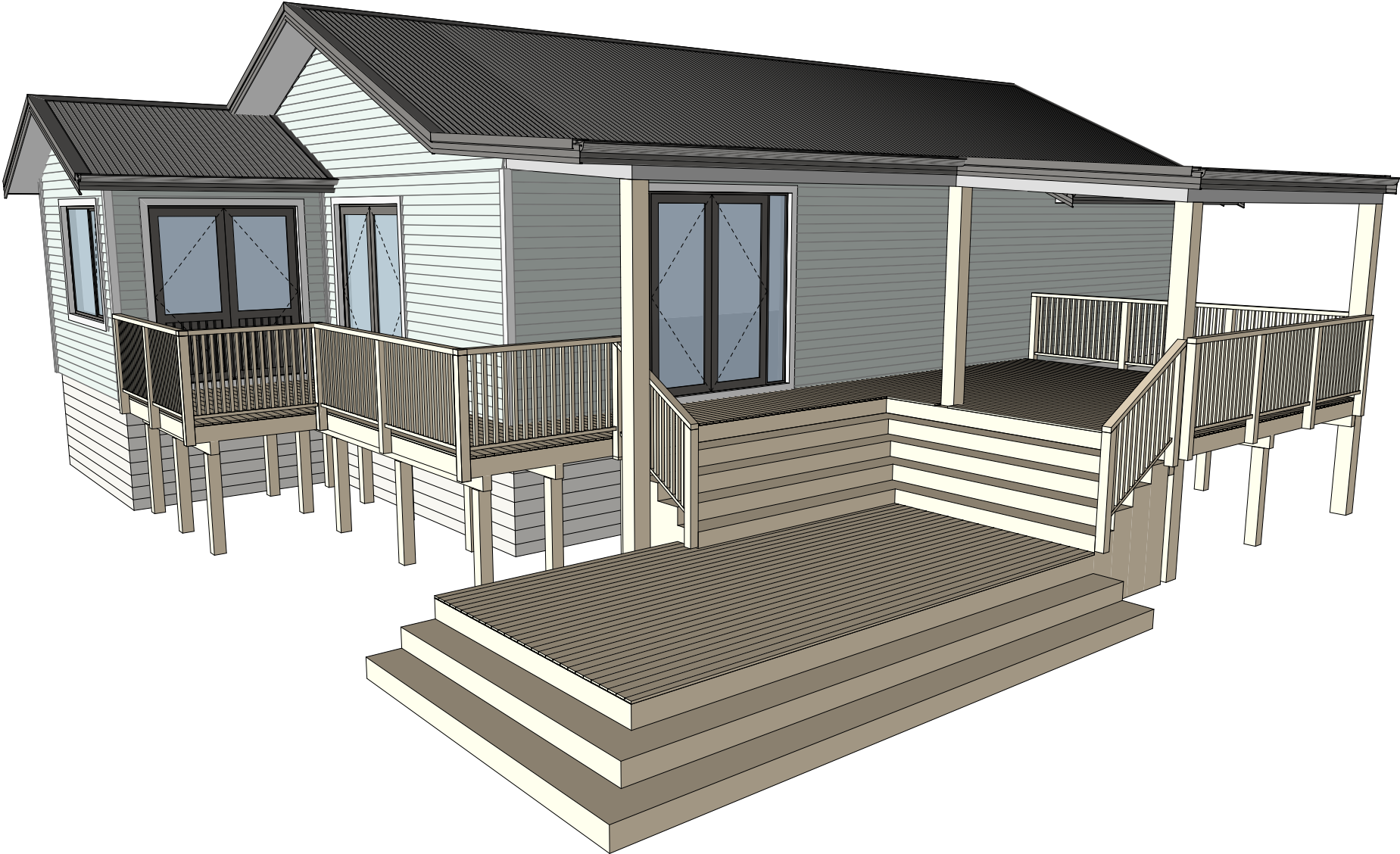
The Contractor is responsible for the correct setting out of the building on site. Boundary pegs are to be located, and setting out points are to be verified on site against information provided prior. All levels/dimensions are to be confirmed onsite before commencing any work and any discrepancies are to be brought to the attention of the Premier Services Limited.

Where available, Engineering drawings are to be read in conjunction with this documentation, any discrepancies to be reported to Premier Services Limited.

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BUILDING CONSENT DRAWINGS

DECK ADDITIONAL TO EXISTING DWELLING
FOR RUTH & PETE GRAHAM
AT 71 SNODGRASS ROAD, WESTPORT



38.426
Snodgrass Road

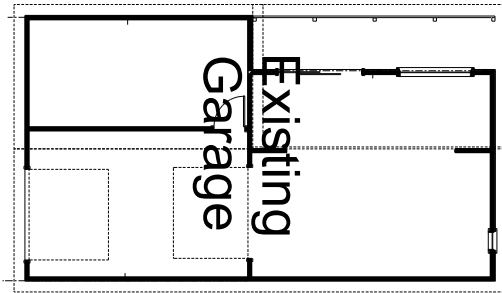
Public Road

78.084

36.235

57.869

9.034



Estimated size
& position of
existing house



JEFF SARJEANT
SUZANNE BRERETON

021 993 267 jeff :M
021 396 010 suzanne :M
03 789 5569 :P
enquiries@speckysworkshop.co.nz :E
www.speckysworkshop.co.nz :W

DRAWING TITLE:

Site Plan

DATE: Apr 2018
ISSUE: Consent
Rev: 1

DESIGNED BY:
Specky's Workshop Ltd

DRAWN BY:
Specky's Workshop Ltd
Jeff Sarjeant & Suzanne Brereton
LBP Check: 120338 Jeff Sarjeant

ENGINEER:

CLIENT:
Peter Graham

LOCATION:
71 Snodgrass Rd,
Westport
Lot DP

Scale
1:200

Sheet #

2

6/09/2018
Buller District Council - BC180152 - Pg 40 of 85

Knudsen

SUB-FLOOR BRACING

Building width	8.0m
Building length	20.0m
Area	128.86m ²

Sub-floor requirement for

wind	80BU's Across	90 BU's Along
EQ	15 BU's per m ²	
Anchor pile BU's	160 Wind	
	120 EQ	

Sub-floor bracing (EQ highest requirement)

5 x 129 = 1935

1935 / 120 = 16.12

ie 17 Anchor or braced piles required in whole house

KEY:



125x125 H5 Standard pile in 400x400x300 conc. footing

B to P

--->

P to P

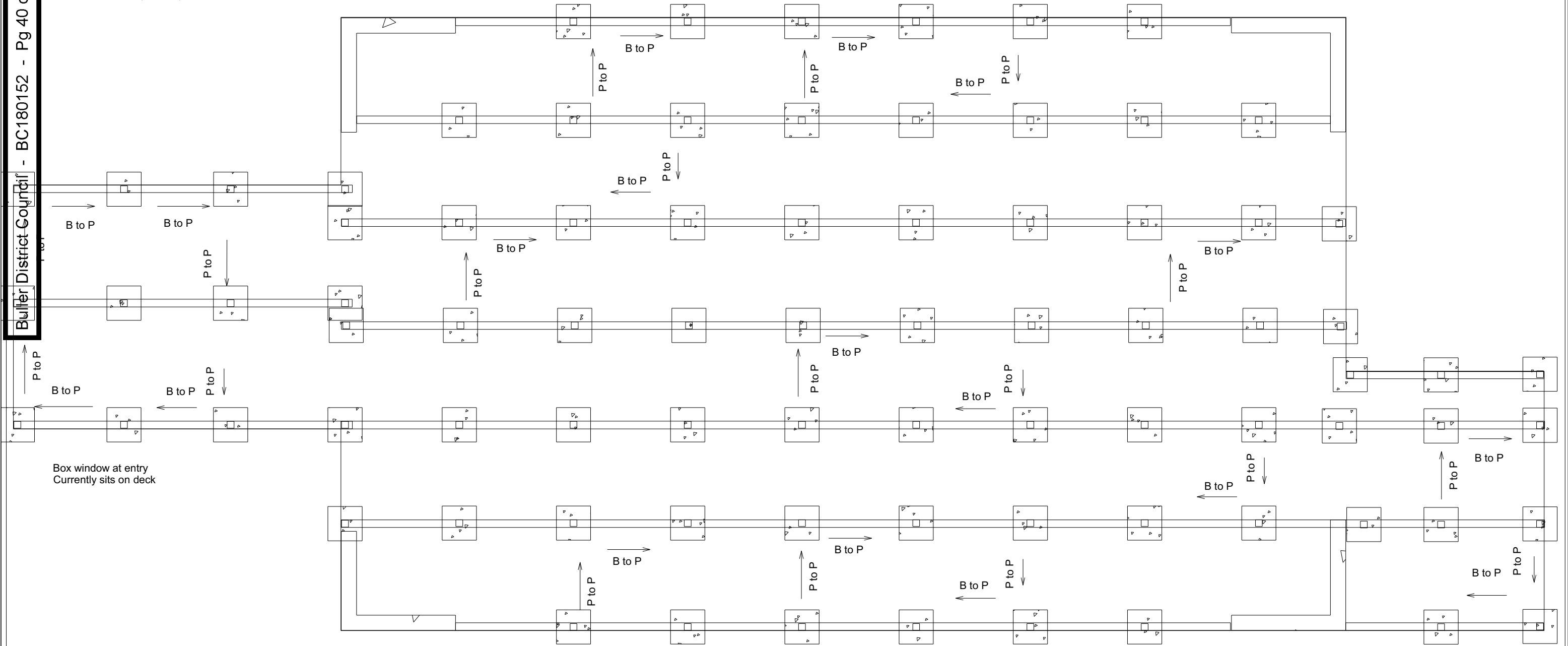
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Braced Piles

- Bearer to Pile connection
- Pile to Pile connection



Existing conc. foundation block



NOTES

DIMENSIONS

ALL DIMENSIONS ARE TO FRAMING UNLESS OTHERWISE STATED. CONTRACTOR TO VERIFY ALL DIMENSIONS & LEVELS BEFORE COMMENCING ANY WORK.

3.2. HOT WATER CYLINDER

EXISTING ELECTRIC HOT WATER CYLINDER TO
BE CHECKED FOR PRESSURE REDUCING, RELIEF
& TEMPERING VALVES ALONG WITH SEISMIC
RESTRAINTS AS PER ACCEPTABLE SOLUTION
Q3/01 (WATER SUPPLIES) FIGURE 14. FIT OR
REPLACE ANY VALVES AND RESTRAINTS
MISSING OR DEFECTIVE.

DOWNPIPE CALCULATIONS

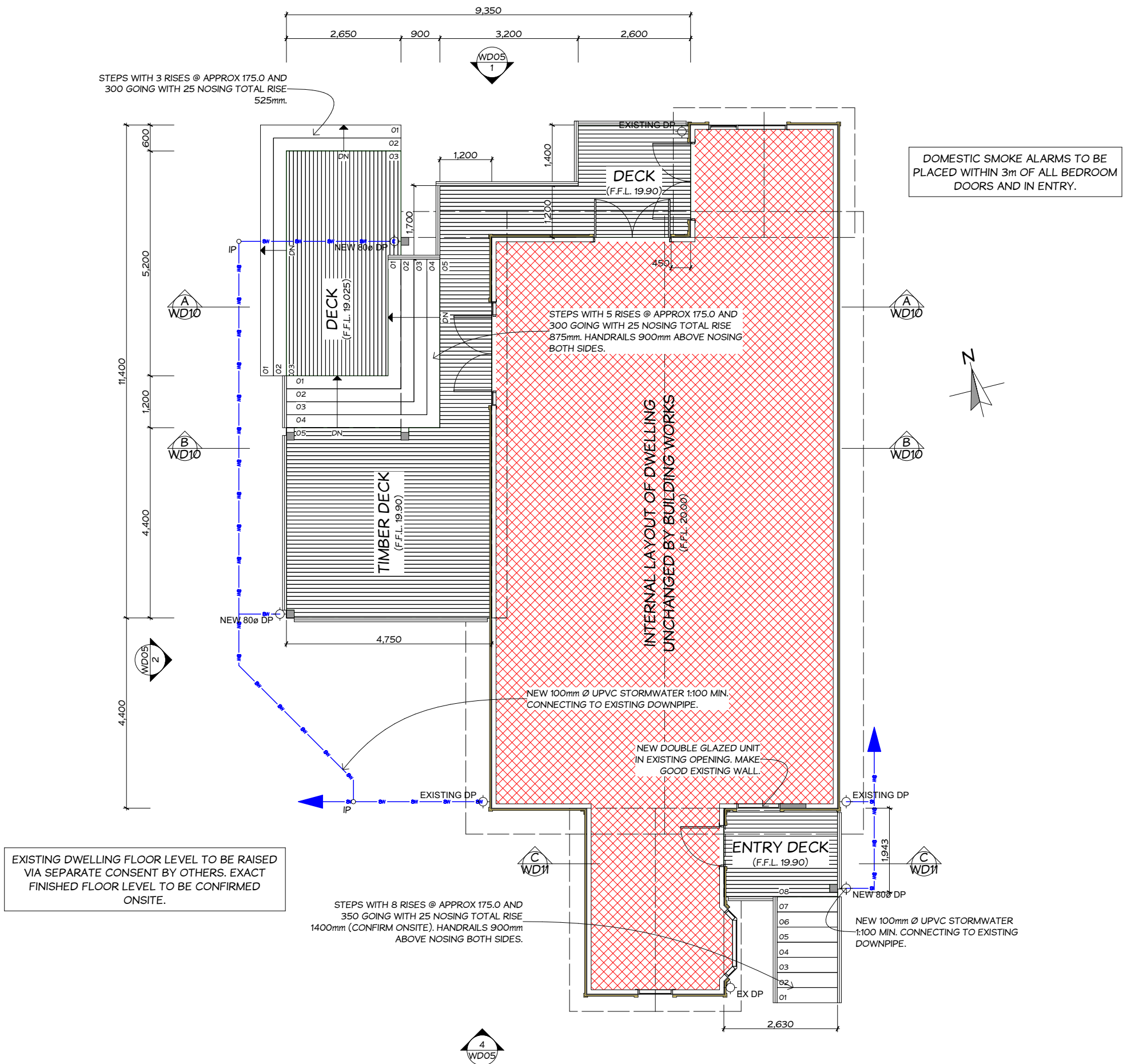
80m² MAXIMUM ROOF PLAN AREA PER 800
DOWNPIPE TO COMPLY WITH THE NEW
ZEALAND BUILDING CODE ACCEPTABLE
SOLUTION E1/AS1 (SURFACE WATER) FOR 0-25°
ROOF PITCH

MAIN VERANDAH ROOF CONTRIBUTORY PLAN
ROOF AREA: 30.14m². MIN. NUMBER OF
DRAINPIPPES REQUIRED: "1". ACTUAL NUMBER OF
DRAINPIPPES USED "2"

ENTRY VERANDAH CONTRIBUTORY PLAN ROOF
AREA 5.26m². MIN. NUMBER OF DOWNPIPES
REQUIRED: "1". ACTUAL NUMBER OF DOWNPIPES
USED "1"

ALL NEW DOWNPIPES TO CONNECT TO
EXISTING DOWNPIPES AS SHOWN.

All levels/dimensions are to be confirmed onsite before commencing any work, this applies to all trades. Do not scale off drawings.



RUTH & PETE GRAHAM

DECK ADDITIONAL TO
EXISTING DWELLING

71 SNODGRASS ROAD,
WESTPORT

ALTERED FLOOR PLAN

WD04

BUILDING CONSENT

22/08/2018

1:100

JR

SHEET :
original A3

REVISION :

DATE :

SCALE :

Job No. 18248

PREMIER SERVICES LIMITED	Address 6 Champion Road, Richmond 7020	Phone 03 544 1829	Email info@premierservices.co.nz	Website www.premierservices.co.nz
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All levels/dimensions are to be confirmed onsite before commencing any work, this applies to all trades. Do not scale off drawings.

WD05

BUILDING CONSENT

22/08/2018

1:100

JR

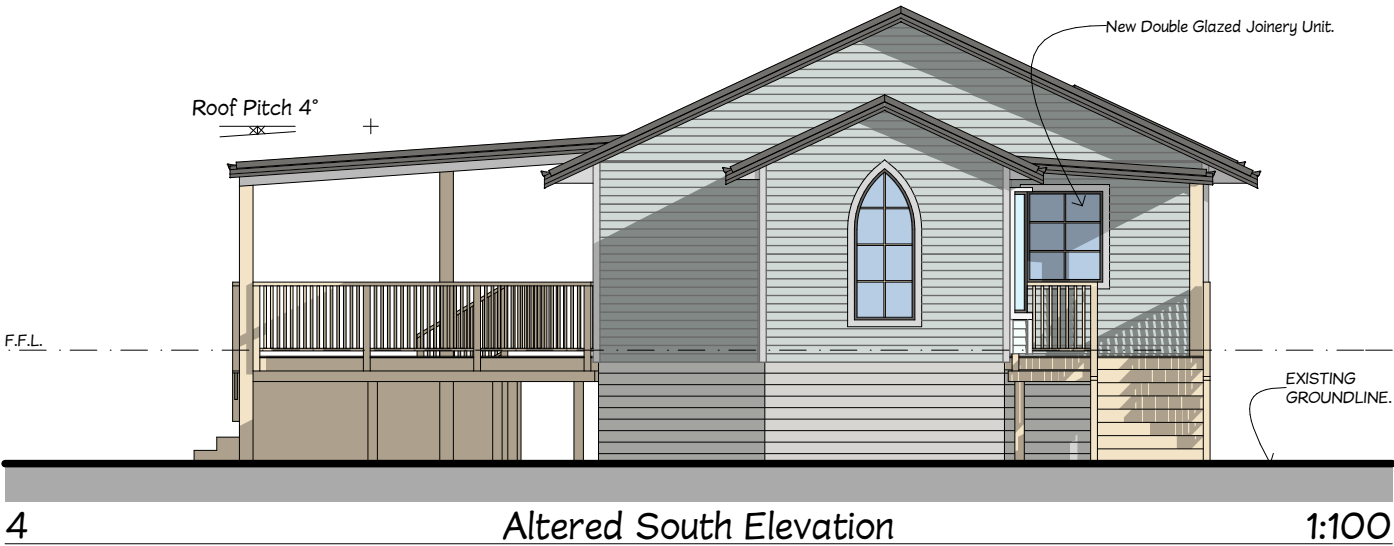
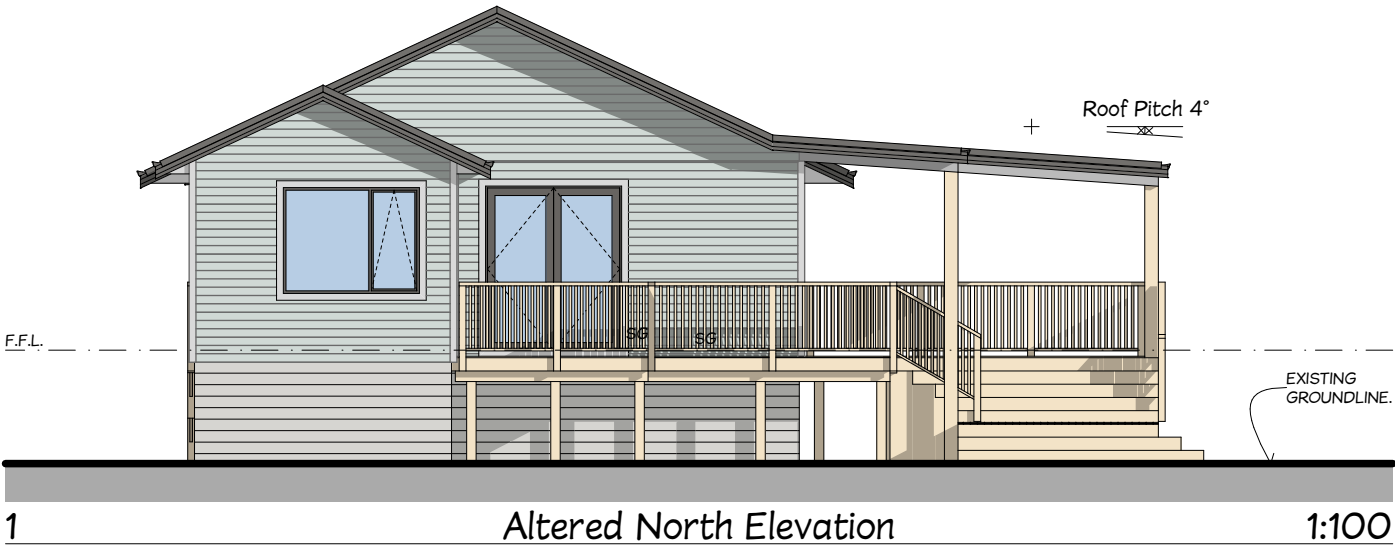
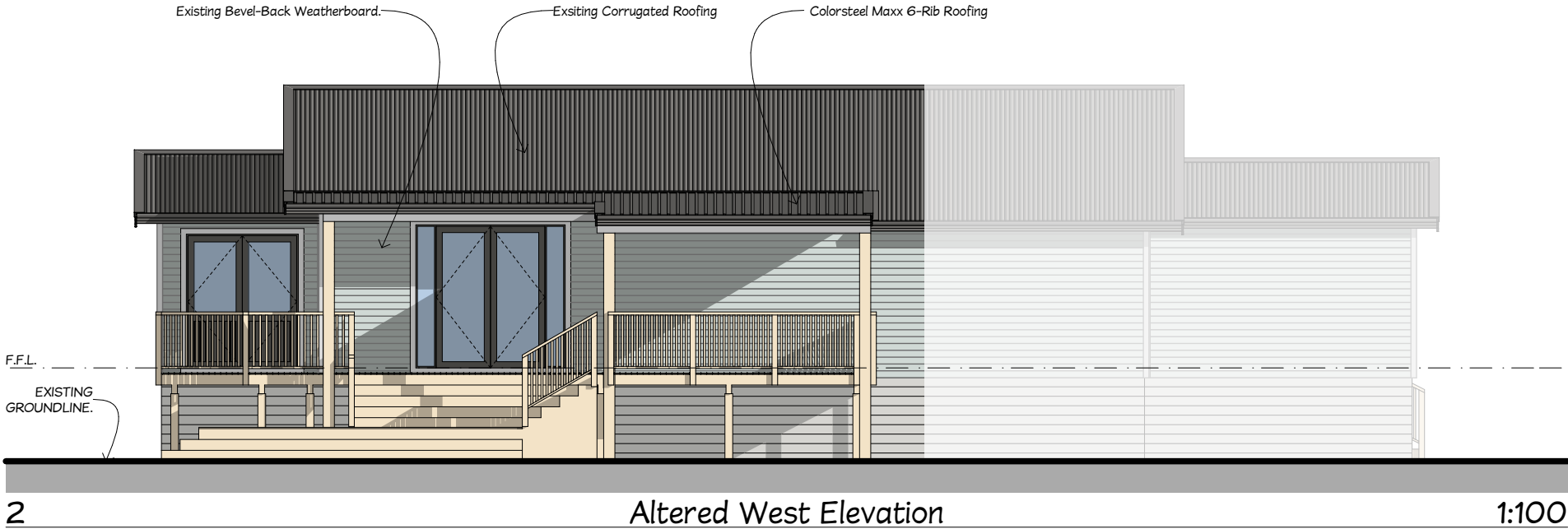
SHEET :
original A3

REVISION :

DATE :

SCALE :

DRAWN :



NOTES

POWDER COATED ALUMINIUM JOINERY

ALL NEW POWDER COATED ALUMINIUM JOINERY UNITS TO BE DOUBLE GLAZED. ALL GLAZING SHALL COMPLY WITH NZS4223. ALL SIZES GIVEN FOR WINDOWS AND DOORS ARE ROUGH OPENING SIZES ONLY. CONTRACTOR TO CONFIRM ALL OPENING SIZES WITH JOINERY MANUFACTURER PRIOR TO FABRICATION.

O DENOTES OBSCURE GLAZED JOINERY.
SG DENOTES GRADE "A" SAFETY GLAZING.

ANY SILL HEIGHTS ARE MEASURED FROM FINISHED FLOOR LEVEL. ALL WINDOWS TO BE FINISHED AT SOFFIT LEVEL UNLESS OTHERWISE SHOWN.

BUILDING WRAP

BUILDING WRAP SHALL BE THERMAKRAFT INDUSTRIES (NZ) LTD "WATERGATE PLUS" (BRANZ APPRAISAL NO.695). BUILDING WRAP MUST BE INSTALLED HORIZONTALLY AND BE CONTINUOUS AROUND CORNERS. THE WRAP MUST BE LAPPED 75mm MIN. @ AT HORIZONTAL JOINTS AND 150mm MIN. OVER STUDS @ VERTICAL JOINTS. WHERE STUDS ARE AT GREATER THAN 450mm CRS, POLYPROPYLENE STRAP OR ADDITIONAL VERTICAL CAVITY BATTENS MUST BE INSTALLED @ MAXIMUM 300mm CRS TO PREVENT BULK INSULATION BULGING INTO THE CAVITY.

BUILDING ENVELOPE RISK MATRIX		
All Faces (House)		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		3

RUTH & PETE GRAHAM

DECK ADDITIONAL TO EXISTING DWELLING

71 SNODGRASS ROAD, WESTPORT

ELEVATIONS

CLIENT :

PROJECT :

LOCATION :

DRAWING :

All work is to be carried out in full accordance with the NZBC and Territorial Authority requirements as they apply. Any queries and discrepancies must be confirmed with the Designer before beginning any work



Form 7 Code compliance certificate

Section 95, Building Act 2004

The building

Street address of building: 71 Snodgrass Road, Westport
Legal description of land where building is located: Sec 1 Orowaiti Blk III Kawatiri SD
Building name: N/A
Location of building within site/block number: 71 Snodgrass Road
Westport
Level/unit number: N/A
Current, lawfully established, use: 2.0 Housing:
2.0.2 Detached Dwelling
Year first constructed: unknown

The owner

Name of owner: Ruth Lillian Vaega
Contact person: Peter Graham
Mailing address: 71 Snodgrass Road, RD 2, Westport
Street address/registered office: 71 Snodgrass Road, RD 2, Westport
Phone number: Landline: N/A Mobile: 0212712846
Daytime: Landline: N/A Mobile: 0212712846
After hours: Landline: N/A Mobile: 0212712846
Facsimile number: No information provided
Email address: pete@prgraphix.co.nz
Website: No information provided
First point of contact for communications with the council/building consent authority:
Ruth Lillian Vaega; Mailing Address: 71 Snodgrass Road
RD 2
Westport 7892; Mobile: 0212712846; Email: pete@prgraphix.co.nz

Building work

Building consent number: BC180152
Description: Repile of dwelling and construction of deck and covered roof area.
Issued by: Buller District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
the building work complies with the building consent.

Signature: Max Crawford

Position: Building Control Officer

On behalf of: Buller District Council

Date: 23 March 2023

Building Consent - 160141

Section 51, Building Act 2004

The Building

Street address of building: 71 Snodgrass Road , Westport 7892

Legal description of land where building is located: NL2A/410 Sec 1 Town of Orowaiti Blk III Kawatiri SD

Building name:

Location of building within site/block number: 71 Snodgrass Road , Westport 7892

Level/unit number:

The Owner

Name of owner: Peter Graham

Contact person: N/A

Mailing address: 71 Snodgrass Road , RD2 Ext , Westport 7892

Street address/registered office: 71 Snodgrass Road , RD2 Ext , Westport 7892

Phone number: Landline: 0212712846 Mobile: 0212712846

Facsimile number:

Email address: pete@prgraphix.co.nz

First point of contact for communications with the council/building consent authority: N/A

Building work

The following building work is authorised by this building consent:

Garage / Workshop extension

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or

responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Conditions

This building consent is subject to the following conditions:

The building must be altered, removed, or demolished on or before the end of 40 years from the date of issue of this consent (being the specified intended life of the building).

There are no conditions associated with this consent.

Endorsements

There are no advice notes associated with this consent.

Inspections

The following inspections are required:

- Prepour
- Floor Slab
- Framing / Pre-wrap
- Preline
- Drainage
- Final

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

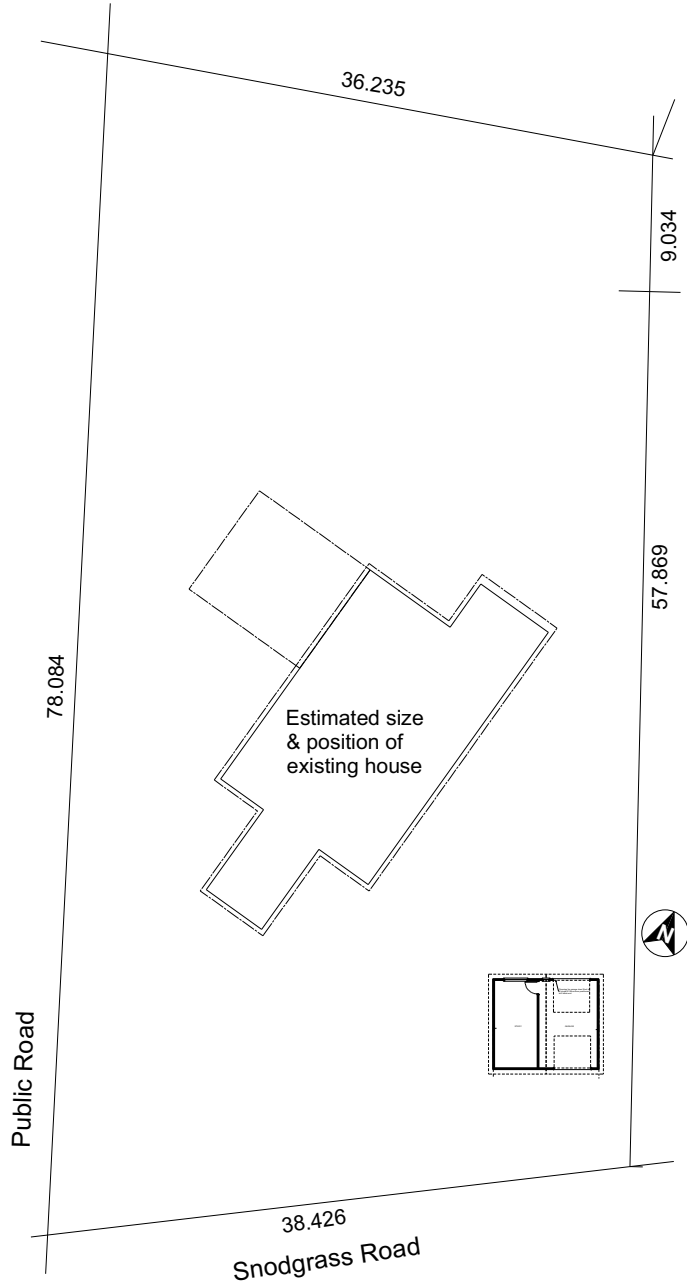
- There are no additional attachments for this building consent.

Ritchie White

Building Inspector

On behalf of: Buller District Council

Issue Date: 13 Jul 2016



SITE PLAN - EXISTING
Scale 1:500



SITE PLAN - EXISTING
Scale 1:500

SITE INFORMATION

Section 1	Town of Orowaiti
71 Snodgrass Rd,	Westport
Wind Zone	High
Earthquake	3
Soil Class	D
Exposure	D
Existing Site Coverage	
Site	1161m ²
House	75.18m ²
Study & Garage	42.0m ²
Total	130.41m ²
% Coverage	13.16%
Proposed Site Coverage	
Site	1161m ²
House	103.5m ²
Study & Garage	76.0m ²
Total	158.73m ²
% Coverage	16.02%

Sheet #

2

Scale

CLIENT:
Peter Graham
LOCATION:
71 Snodgrass Rd, Westport
Lot DP

DESIGNED BY:
Specy's Workshop Ltd
DRAWN BY:
Specy's Workshop Ltd
Jeff Sarjeant & Suzanne Brereton
LBP Check: 120336 Jeff Sarjeant
ENGINEER:

DRAWING TITLE:

Site Plan - Existing & Proposed

DATE: Jul 2014

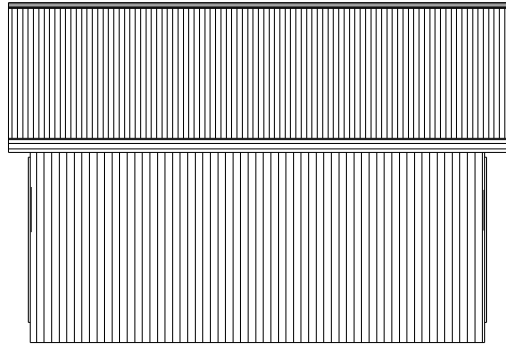
ISSUE: Consent

Rev:

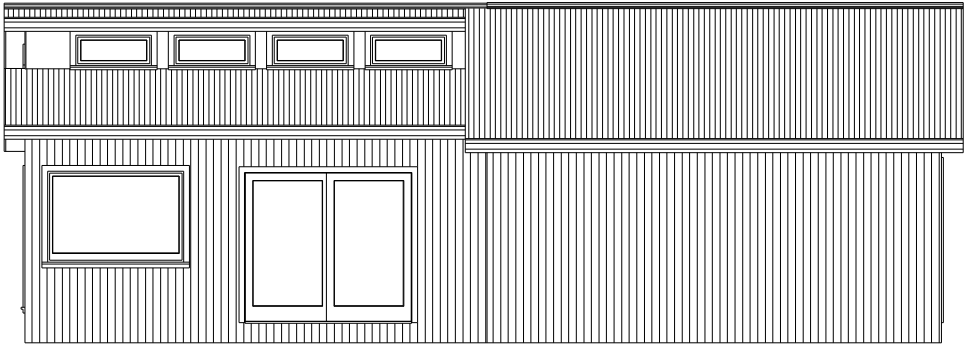
JEFF SARJEANT
SUZANNE BRERETON

021 593 267 jeff :M
021 396 010 suzanne :M
03 789 5569 :P
enquiries@specysworkshop.co.nz :E
www.specysworkshop.co.nz :W

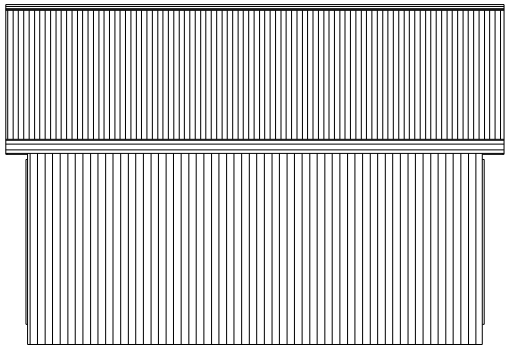
Specy's
WORKSHOP
Design, draught and manage



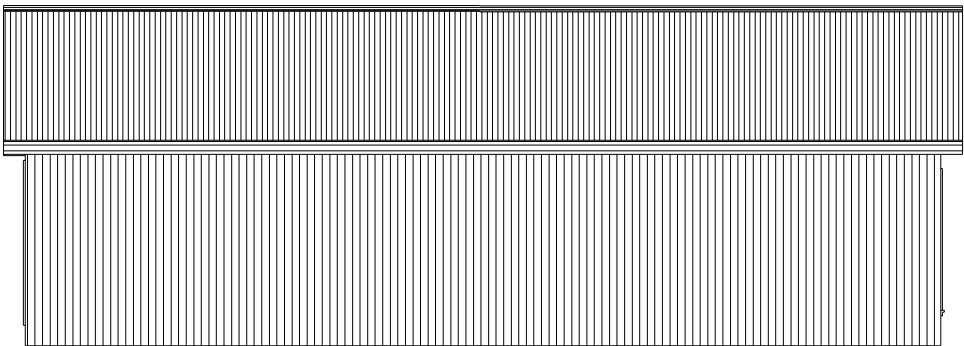
WEST ELEVATION - EXISTING
Scale 1:100



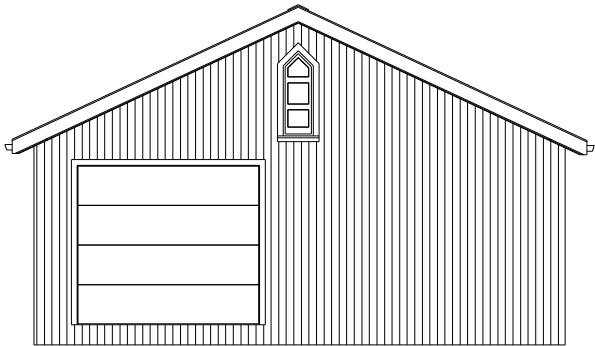
WEST ELEVATION - PROPOSED
Scale 1:100



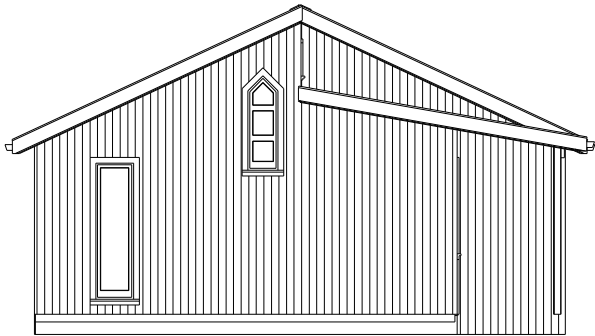
EAST ELEVATION - EXISTING
Scale 1:100



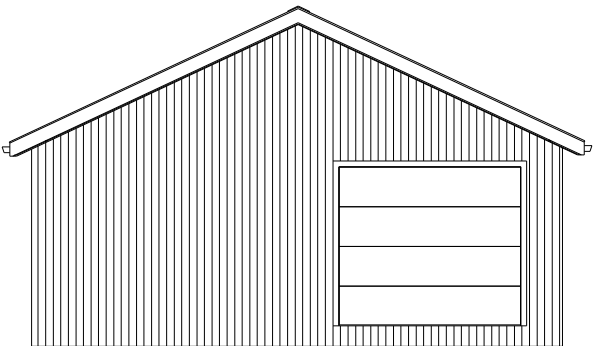
EAST ELEVATION - PROPOSED
Scale 1:100



NORTH ELEVATION - EXISTING
Scale 1:100



NORTH ELEVATION - PROPOSED
Scale 1:100



SOUTH ELEVATION - EXISTING & PROPOSED
Scale 1:100

Sheet #

5

Scale

1:100

CLIENT:
Peter Graham

LOCATION:
71 Shodgrass Rd, Westport
Lot DP

DESIGNED BY:
Specy's Workshop Ltd

DRAWN BY:
Specy's Workshop Ltd
Jeff Sarjeant & Suzanne Brereton
LBP Check: 120338 Jeff Sarjeant

ENGINEER:

DRAWING TITLE:

Elevations - Existing & Proposed

DATE:
Jul 2014

ISSUE:
Consent

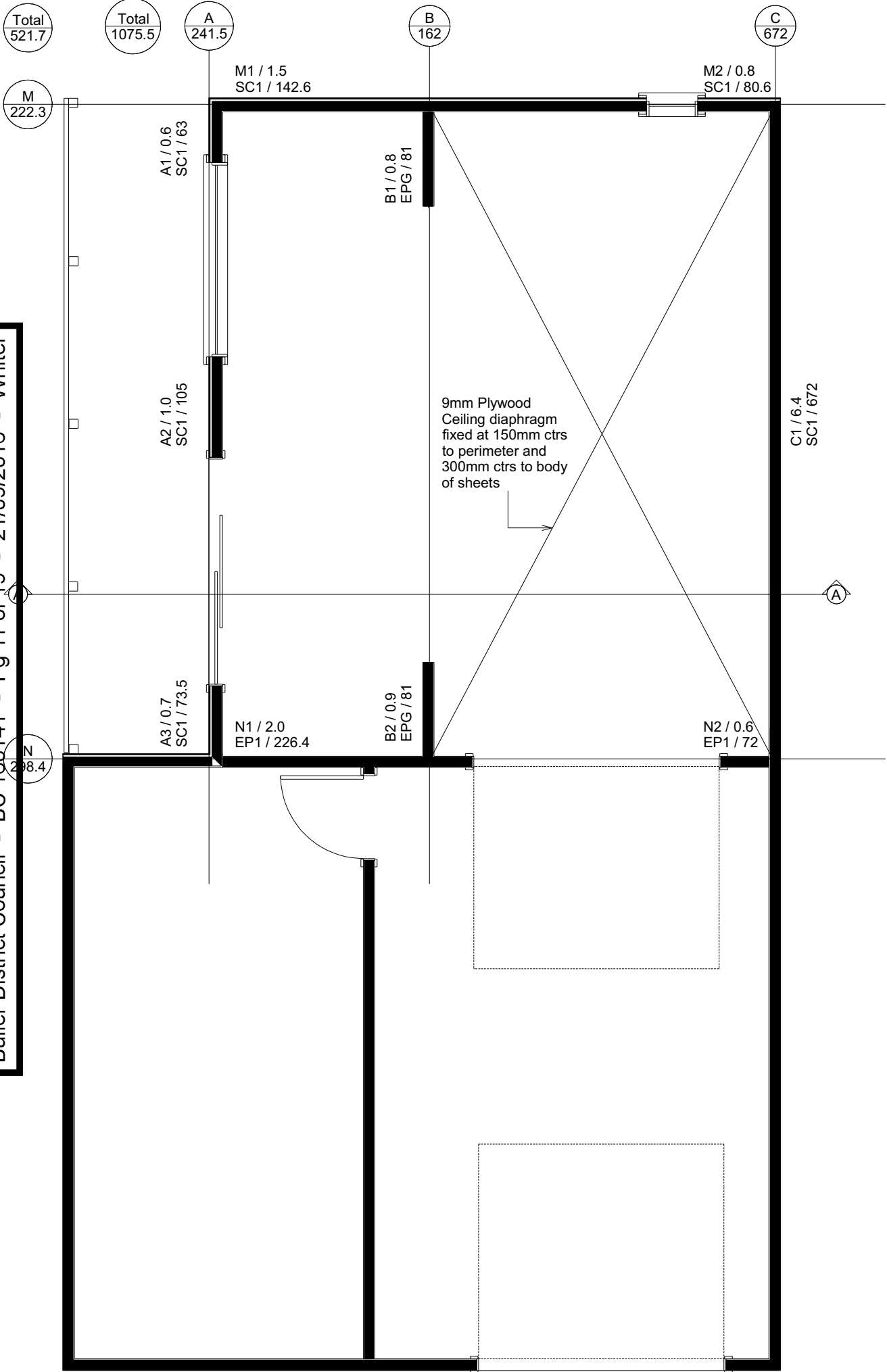
Rev:

JEFF SARJEANT
SUZANNE BRERETON

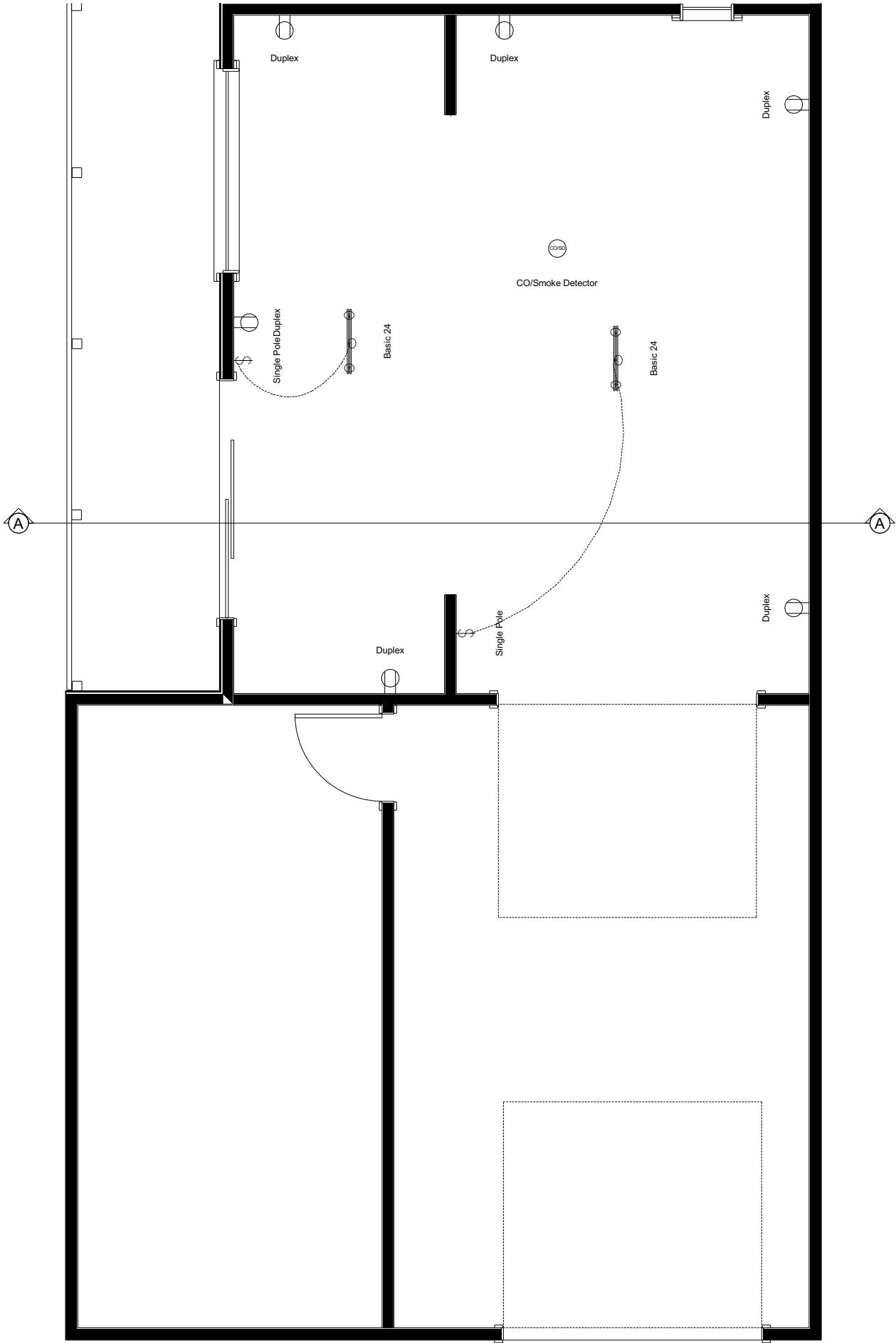
021 993 267 jeff M
021 396 010 suzanne M
03 789 5569 P
enquiries@specysworkshop.co.nz E
www.specysworkshop.co.nz W

Specy's
WORKSHOP

Design, draught and manage



BRACING PLAN
Scale 1:50



ELECTRICAL PLAN
Scale 1:50

Sheet #

9

Scale

1:50

CLIENT:
Peter Graham

LOCATION:
71 Shodgrass Rd, Westport
Lot DP

DESIGNED BY:
Specy's Workshop Ltd

DRAWN BY:
Specy's Workshop Ltd
Jeff Sarjeant & Suzanne Brereton
LBP Check: 120336 Jeff Sarjeant

ENGINEER:

DRAWING TITLE:

Bracing Plan & Electrical Plan

JEFF SARJEANT
SUZANNE BRERETON

021 993 267 jeff .M
021 396 010 suzanne .M

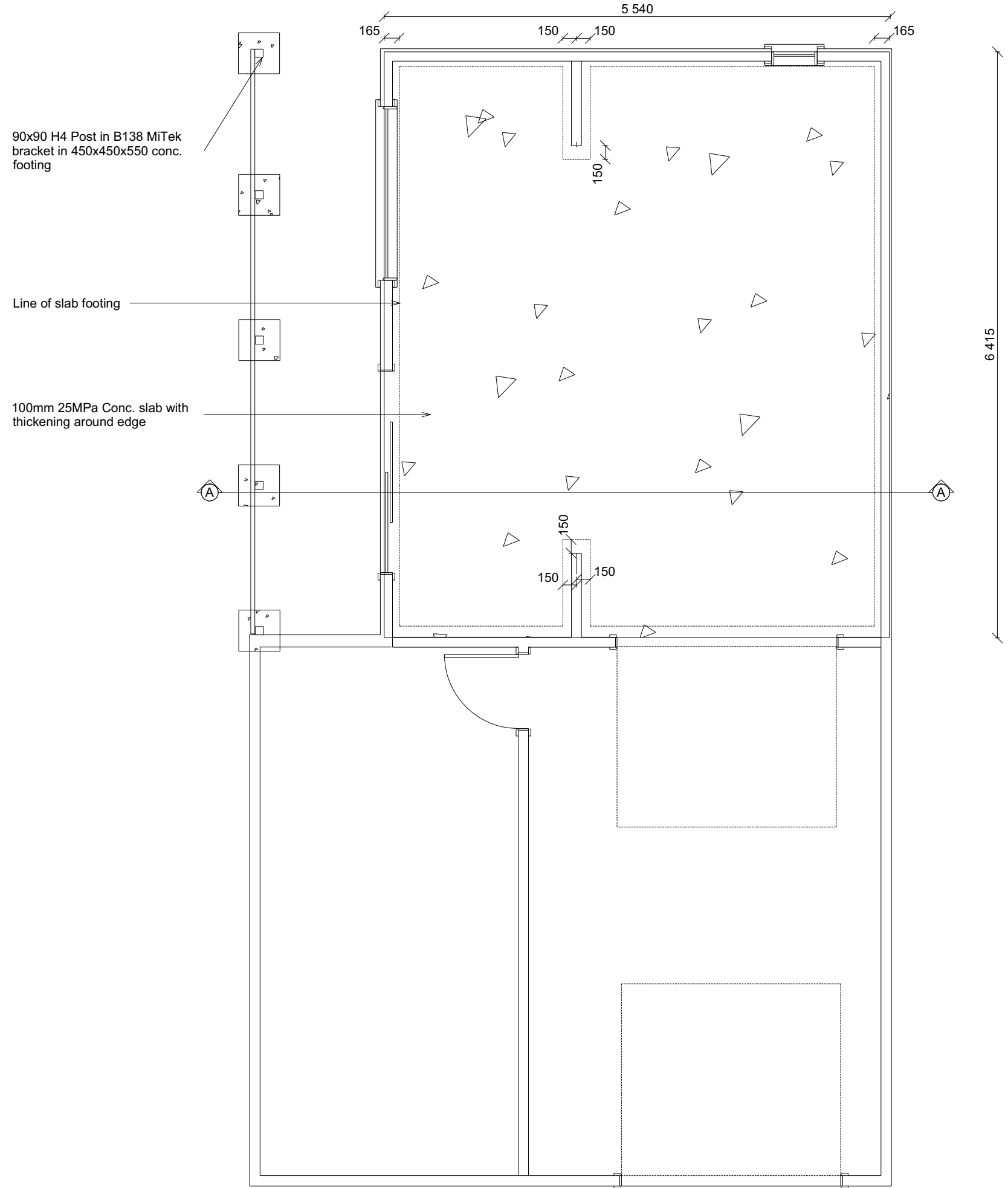
enquiries@specysworkshop.co.nz .E
www.specysworkshop.co.nz .W



Specy's
WORKSHOP

Design, draught and manage

DATE: Jul 2014
ISSUE: Consent
Rev:



Sheet #
7

Scale
1:50

CLIENT:
Peter Graham
LOCATION:
71 Shodgrass Rd, Westport
Lot DP

DESIGNED BY:
Specy's Workshop Ltd
DRAWN BY:
Specy's Workshop Ltd
Jeff Sarjeant & Suzanne Brereton
LBP Check: 120338 Jeff Sarjeant
ENGINEER:

DRAWING TITLE:
Foundation
DATE:
Jul 2014
ISSUE:
Consent
Rev:

JEFF SARJEANT
SUZANNE BRERETON
021 593 267 jeff.M
021 396 010 suzanne.M
03 789 5569 P
enquiries@specysworkshop.co.nz E
www.specysworkshop.co.nz W

Specy's
WORKSHOP
Design, draught and manage

Form 7

Code compliance certificate

Section 95, Building Act 2004



The building

Street address of building: 71 Snodgrass Road , Westport 7892
Legal description of land where building is located: NL2A/410 Sec 1 Town of Orowaiti Blk III Kawatiri SD
Building name: N/A
Location of building within site/block number: 71 Snodgrass Road
Westport 7892
Level/unit number: 0
Current, lawfully established, use: 7.0.1 Outbuildings
Year first constructed: unknown

The owner

Name of owner: Peter Graham
Contact person: N/A
Mailing address: 71 Snodgrass Road , RD2 Ext , Westport
Street address/registered office: 71 Snodgrass Road , RD2 Ext , Westport
Phone number: Landline: 0212712846 Mobile: 0212712846
Daytime: Landline: 0212712846 Mobile: 0212712846
After hours: Landline: 0212712846 Mobile: 0212712846
Facsimile number: No information provided
Email address: pete@prgraphix.co.nz
Website: No information provided
First point of contact for communications with the council/building consent authority:
Peter Graham; Mailing Address: 71 Snodgrass Road
RD2 Ext
Westport 7892; Phone: 0212712846; Email: pete@prgraphix.co.nz

Building work

Building consent number: 160141
Description: Garage / Workshop extension
Issued by: Buller District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that -
the building work complies with the building consent.

Signature: Max Crawford

Position: Building Control Officer Cadet

On behalf of: Buller District Council

Date: 09 August 2022



Building Consent 100121

BAM 005

[Form 5]

Building (Forms) Regulations

**THIS COPY MUST
BE RETAINED ON
WORKS**

Section 51, Building Act 2004

Being Stage 1 of an intended 1 Stages

The Applicant	The Building
RUTH VAEGA	Snodgrass, Westport
PETE GRAHAM	Legal Description: Sec 1 Orowaiti Blk III Kawatiri SD
71 SNODGRASS ROAD	Valuation or Property No: 1884012200
RD 2	Level/Unit No: [If applicable]
WESTPORT 7892	

First Point of Contact:

First point of contact for communications with the building consent authority will be with: Full Name: RUTH VAEGA

Mailing Address: PETE GRAHAM, 71 SNODGRASS ROAD, RD 2, WESTPORT 7892

Phones:: 021 271 2846: 789 7744

Building Work:

The following building work is authorised by this building consent:

Alterations and addition to dwelling, small extension to bedroom and installation of ensuite

HOUSING

Estimated Value: \$19,000

Compliance Schedule:

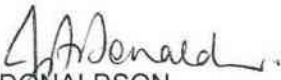
A compliance schedule is not required for the building.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Signed for and on behalf of the Buller District Council:

Date: 15/09/10


J A DONALDSON
ENVIRONMENTAL TEAM LEADER

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

This building consent is issued subject to the following conditions:

1. If building work has not commenced within 24 calendar months after the date of issue of the consent, or any such further period that the Building Consent Authority may allow, this consent will lapse.
2. The owner must apply for a Code Compliance Certificate on completion of building work. The Building Consent Authority must decide whether to issue a Code Compliance Certificate within 2 years of granting the consent or a further agreed period if no Code Compliance Certificate has been received.
3. The applicant and builder are responsible for the correct siting of buildings or additions thereon. As such, they shall ascertain the true position of survey pegs before building operations commence.
4. The approved plans and specifications (stamped copies) must be available on site for each inspection. Failure to abide by this requirement may incur further inspection/s and charges, on completion of construction and before a Code Compliance Certificate is issued.
5. Inspections are required as shown on attached 'Inspection Requirement and Record' sheet. Any additional inspections required during construction will be debited at the completion of works.
6. An owner must apply to the consent authority for a CCC on the enclosed form - Application for Code Compliance Certificate (CCC) after all building work relating to this consent is completed. All certificates, including producer statements must accompany this application.
7. A copy of the energy works (electrical) certificate must be supplied to the Building Consent Authority on job completion. A Code Compliance Certificate will not be issued until this is received.

Attachments:

Copies of the following documents are attached to this building consent:

Project information memorandum 100121



Project Information Memorandum 100121

Section 34, Building Act 2004

Issued in accordance with Building Consent No. 100121

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent attached.

This project information memorandum includes:

- ___ Information identifying special features of the land concerned
- ___ Information about the land or building concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- ___ Important information

Notes

1. After a consent has been issued no deviation or alteration from the original plans and specifications is permissible without the written approval of the Inspector and it is an offence to convert the building to any other use than that stated on the consent.
2. Restrictions on the Erection of Buildings, Scaffolding and other Structures: Under the Electricity Regulations 1997, it is an offence to erect any buildings, scaffolding and other structures within certain prescribed distances of an overhead electric line. To inquire about these restrictions contact the nearest office of Trans Power NZ or your local Power Supply Company.
3. The cost of any damage to footpaths, roads, berms or crossings during construction, demolition or relocation will be required to be met by the applicant.
4. If high voltage electricity transmission lines, towers or pylons are on, over or adjacent to property, applicant to ensure that the proposed building complies with the clearances prescribed in the NZ Electrical Code of Practice for Electrical Safety Distances. It is the responsibility of the applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building will comply prior to commencing construction.
5. This document is not approval to build.
6. This property has been affected by flooding in the past. Where a building consent is issued under section 72 of the Building Act 2004 on land which is subject to or is likely to be subject to inundation, the Council must notify the District Land Registrar that a building consent has been issued under that provision. The District Land Registrar will then make an entry on the Certificate of Title. This requirement is mandatory and the Council cannot exercise any discretion. This work is well away from the area of the property that has been identified for flooding, therefore in this instance the title will not be endorsed.

Signed by or for and on behalf of the Council:

Name: **J A DONALDSON**
ENVIRONMETNAL TEAM LEADER

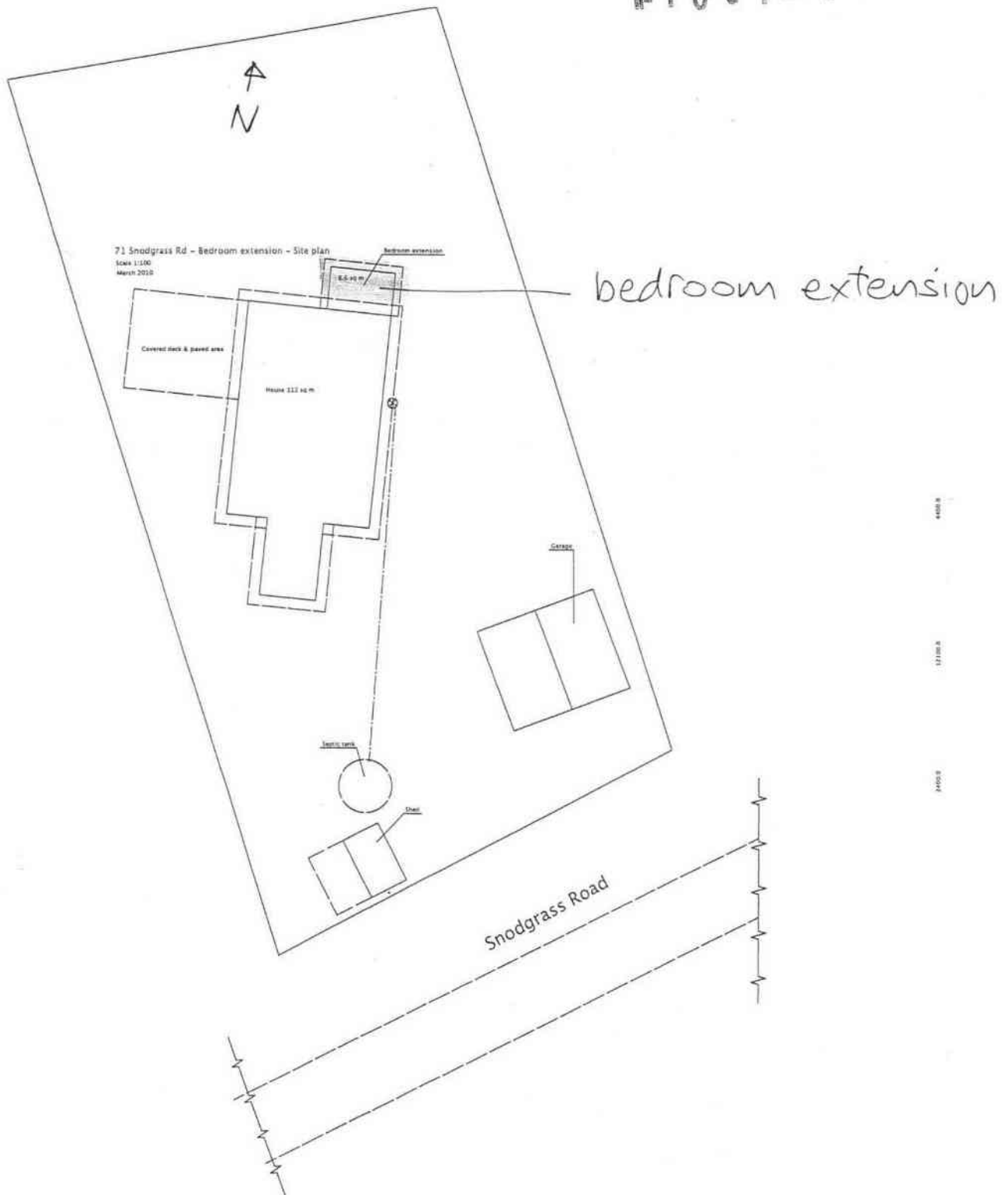
Date: 15/09/10

71 Snodgrass Rd - Bedroom extension

1A

Site plan

100121

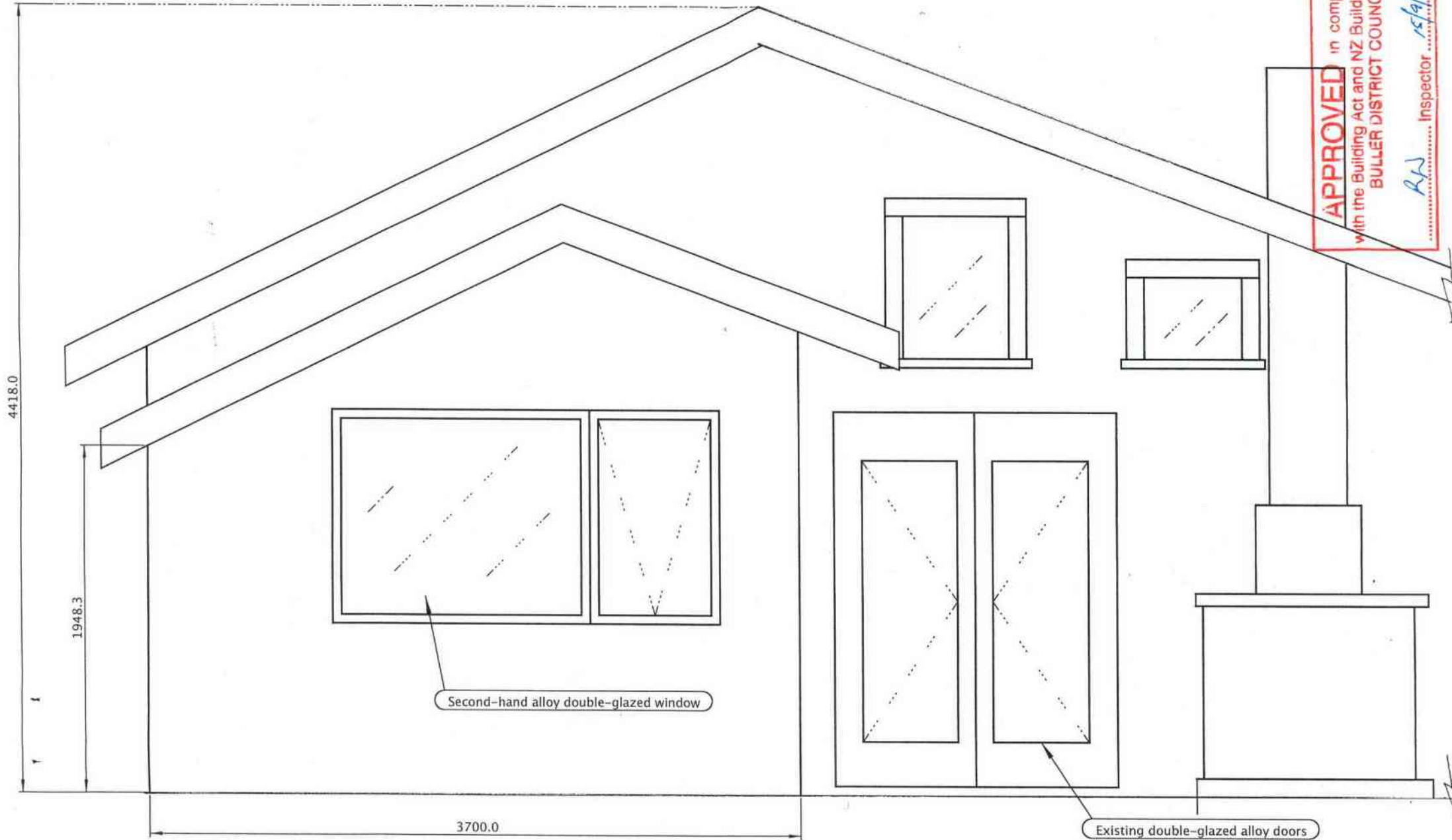


APPROVED in compliance
with the Building Act and NZ Building Codes
BULLER DISTRICT COUNCIL

RW Inspector 15/9/10 Date

71 Snodgrass Rd – Master bedroom extension. North elevation

Scale 1:20



4
APPROVED in compliance
with the Building Act and NZ Building Codes
BULLER DISTRICT COUNCIL
Inspector *RW* Date *15/4/20* v.2

71 Snodgrass Rd – Master bedroom extension – Floor plan

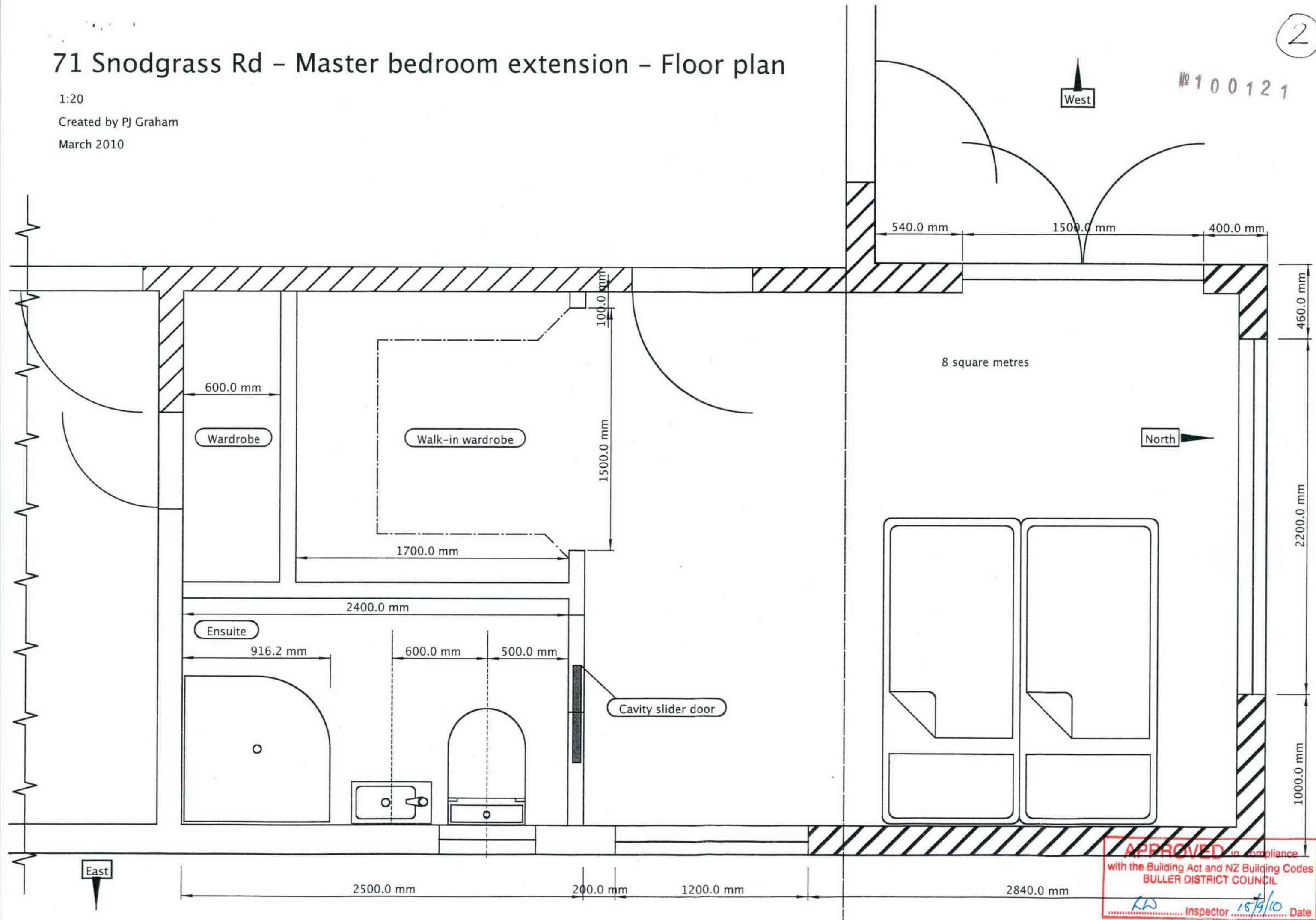
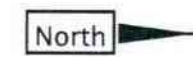
1:20

Created by PJ Graham

March 2010

2

No 100121



APPROVED in compliance
with the Building Act and NZ Building Codes
BULLER DISTRICT COUNCIL
Inspector 18/9/10 Date

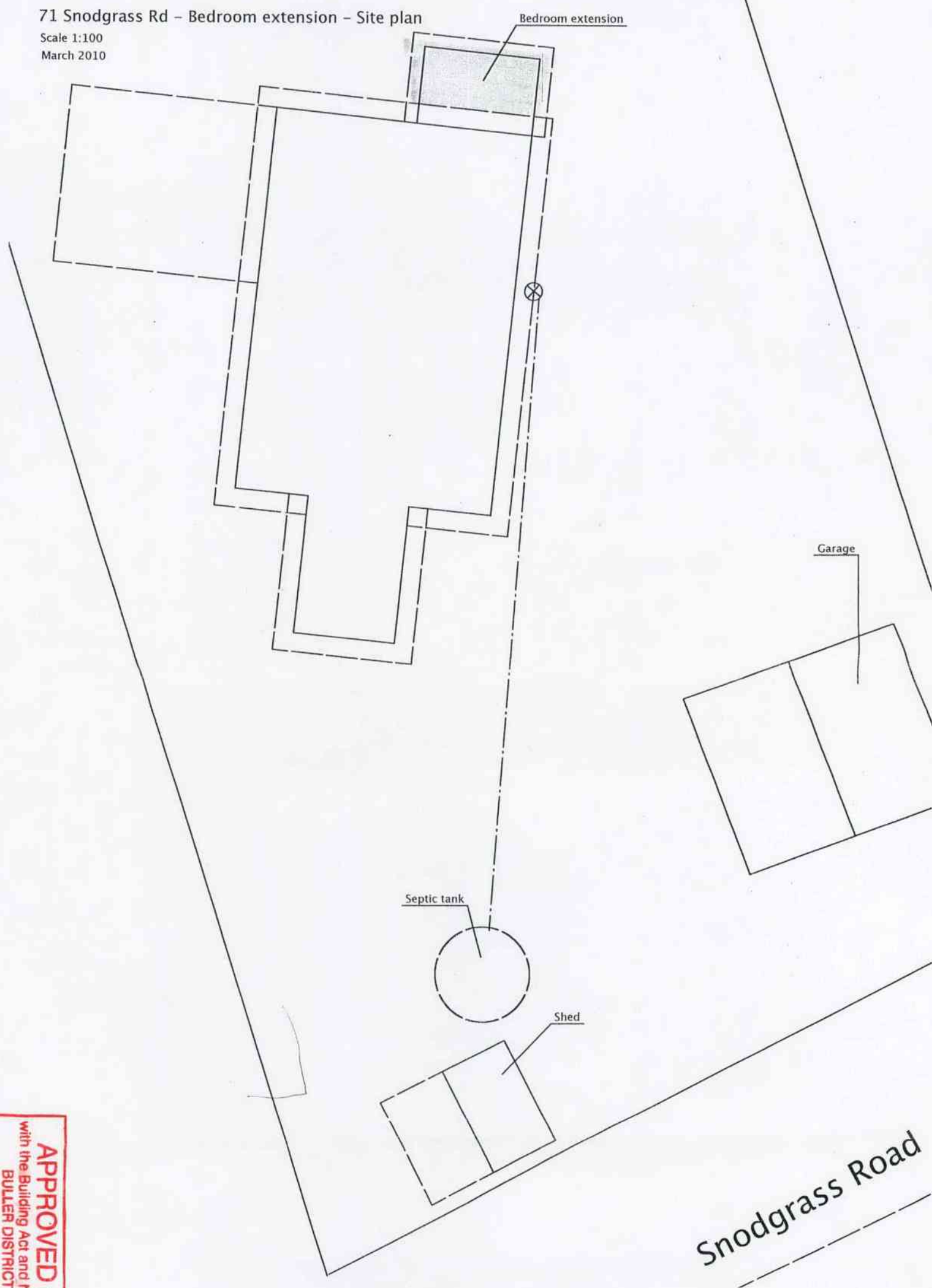
Truncated site plan

TO SCALE - 1:100

71 Snodgrass Rd - Bedroom extension - Site plan

Scale 1:100

March 2010



APPROVED in compliance
with the Building Act and NZ Building Codes
BULLER DISTRICT COUNCIL
Inspector *RS/9/10* Date *15/9/10*

Snodgrass Road

100121

1B



Electrical Certificate of Compliance

No. 3353324

for a low voltage installation, if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer Mr. P Graham

Phone:

Address of installation 71 Snodgrass Road

WESTPORT

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS

8 No. of lighting outlets

No. of ranges

4 No. of socket outlets

No. of water heaters

Please tick (✓) as appropriate where work includes:

Was any installation work carried out by the homeowner?

Yes ☒ No

Mains

Main earthing system

☒ MEN Switchboard closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done)

To wire up bedroom extension at address above

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name Donut Pirtea

Registration No. E 2494 23

Company Buller Refrig. Electrical

Contact Ph No. 03789 7662

Signature

Date 01.11.2010

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

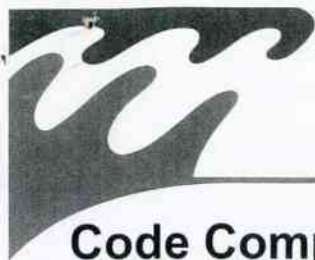
Name

Registration No.

Signature

Date

Contact Ph No.



Code Compliance Certificate 100121

Section 95, Building Act 2004

BAM 007

[Form 7]
Building (Forms) Regulations

The Applicant	The Building
RUTH VAEGA c/ PETER GRAHAM 71 SNODGRASS ROAD RD 2 WESTPORT 7892	Location: Snodgrass, Westport Legal Description: Sec 1 Orowaiti Blk III Kawatiri SD Valuation or Property No: 1884012200 Building Name (if applicable): Site Location (if applicable): Level Unit (if applicable):

Building Work:

Description of Building Work: Alterations and addition to dwelling, small extension to bedroom and installation of ensuite

Estimated Value: \$19,000

Current, lawfully established, use: HOUSING

First Point of Contact:

The first point of contact for communications with the council/building consent authority will be with:
Full Name: RUTH VAEGA
Mailing Address: PETE GRAHAM, 71 SNODGRASS ROAD, RD 2, WESTPORT 7892
Phones:: 021 271 2846; 789 7744

Code Compliance:

The building consent authority named above is satisfied, on reasonable grounds, that :

(a) the building work complies with the building consent.


.....
J A DONALDSON
ENVIRONMENTAL TEAM LEADER

On behalf of: Buller District Council

Date: 27/02/13



Building Consent 060388

Section 51, Building Act 2004

The Applicant	The Building
R VAEGA 71 SNODGRASS ROAD RD EXT WESTPORT	Snodgrass, Westport Legal Description: Sec 1 Orowaiti Blk III Kawatiri SD Valuation or Property No: 1884012200 Level/Unit No: [If applicable]

First Point of Contact:

First point of contact for communications with the building consent authority will be with:
As above

Building Work:

The following building work is authorised by this building consent:

INSTALLATION OF WOODSMAN MATAIRMF SPACEHEATER WITH WETBACK CONNECTION

Estimated Value: \$3,000

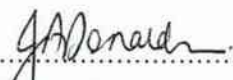
Compliance Schedule:

A compliance schedule is not required for the building.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Signed for and on behalf of the Buller District Council:


.....
J A DONALDSON
TECHNICAL OFFICER

Date: 4/09/06

THIS COPY MUST BE
RETAINED ON WORKS

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

This building consent is issued subject to the following conditions:

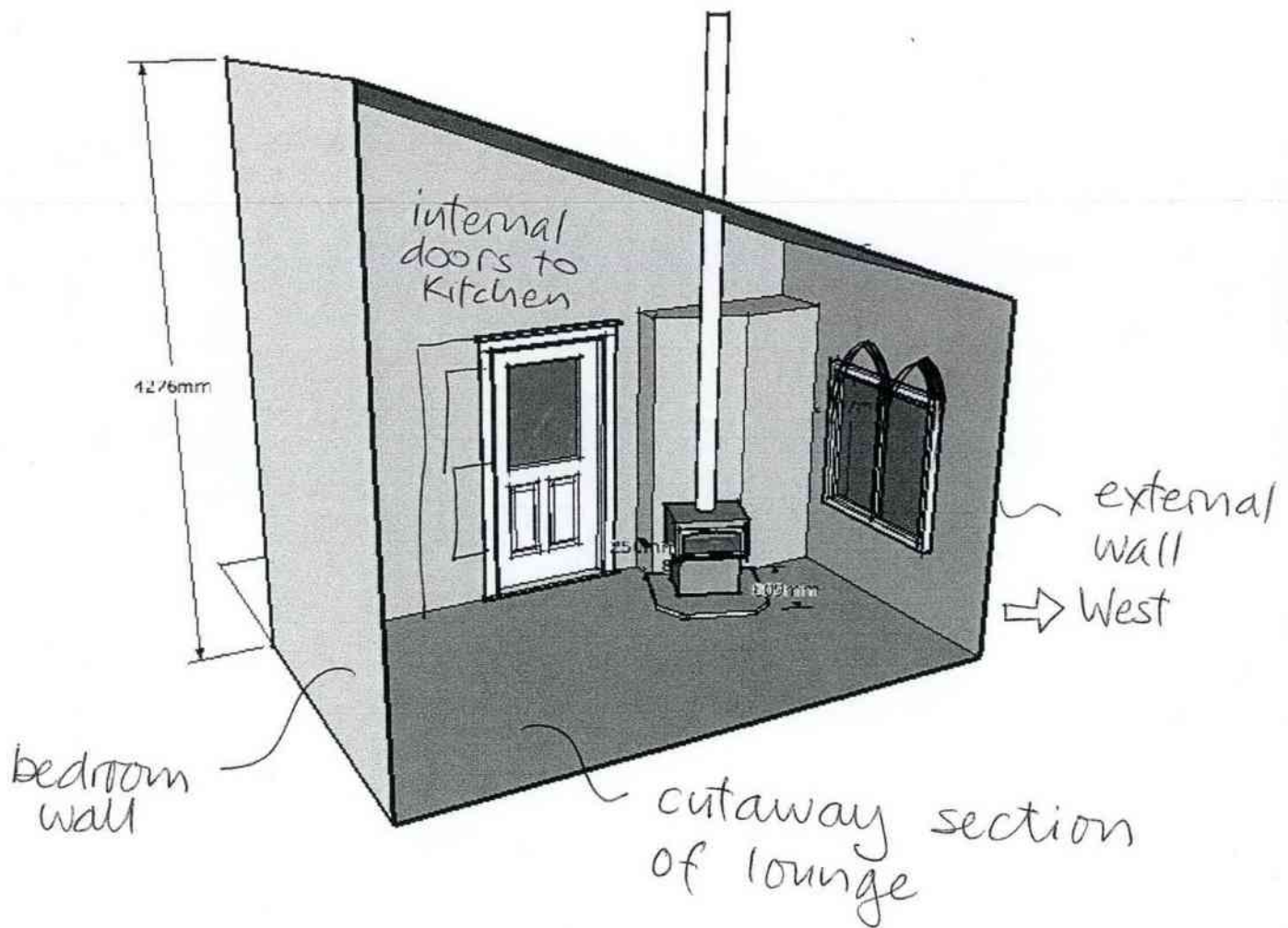
1. Restrictions on the Erection of Buildings, Scaffolding and other Structures: Under the Electricity Regulations 1997, it is an offence to erect any buildings, scaffolding and other structures within certain prescribed distances of an overhead electric line.
2. To inquire about these restrictions contact the nearest office of Trans Power NZ or your local Power Supply Company.
3. Inspections are required as shown on attached 'Field Inspection' sheet.
4. The building, structure or appliance being erected subject to the conditions of this consent, is not to be occupied or used without a Code Compliance Certificate being issued which verifies that the work complies with the New Zealand Building Code.
5. An owner must apply to the consent authority for a CCC on the enclosed form - Application for Code Compliance Certificate (CCC) after all building work relating to this consent is completed. All certificates, including producer statements must accompany this application.
6. This consent is issued on the basis that **X1** inspections will be carried out during construction. Any additional inspections required during construction will be debited at the completion of the works.
7. NOTE: To ensure that ALL the work contained within this consent has been approved, it is recommended that final payment to contractors should not be made until a Code Compliance Certificate has been received.
8. The cost of any damage to footpaths, roads, berms or crossings during construction, demolition or relocation will be required to be met by the applicant.
9. If high voltage electricity transmission lines, towers or pylons are on, over or adjacent to property, applicant to ensure that the proposed building complies with the clearances prescribed in the NZ Electrical Code of Practice for Electrical Safety Distances.
10. It is the responsibility of the applicant to ensure compliance and if necessary to contact the line owner to determine whether the proposed building will comply prior to commencing construction.
11. After a consent has been issued no deviation or alteration from the original plans and specifications is permissible without the written approval of the Inspector and it is an offence to convert the building to any other use than that stated on the consent.
12. A building consent shall lapse and be of no effect if:- The building work concerned has not been commenced within 12 calendar months after the date of issue of the consent or within such further period as the territorial authority in its absolute discretion may allow.
13. A building consent shall expire if an application for a Code Compliance Certificate has not been made within two (2) years of when the building consent was first issued.
14. The applicant and builder are responsible for the correct siting of buildings or additions thereon. As such, they shall ascertain the true position of survey pegs before building operations commence.
15. The cost of any damage to footpaths, roads, berms or crossings during construction, demolition or relocation will be required to be met by the applicant.
16. The solid fuel burning appliance and/or chimney installed pursuant to this consent is to be installed in accordance with AS/NZS 2918:2001.
17. The connection of this spaceheater to a wetback will require a tempering valve to be fitted to the hot water cylinder.
18. SMOKE ALARMS WITH HUSH FACILITIES MUST BE INSTALLED IN THIS BUILDING PRIOR TO A FINAL INSPECTION BEING CARRIED OUT AND A CODE COMPLIANCE CERTIFICATE BEING ISSUED
19. THE CEILING PLATE IS TO BE LEFT DOWN SO THAT CLEARANCES AND DISTANCES TO COMBUSTIBLE MATERIALS CAN BE INSPECTED.
20. COUNCIL IS TO BE NOTIFIED OF YOUR INTENDED PLUMBER BEFORE INSTALLATION OF YOUR WETBACK CONNECTION.

Attachments:

Copies of the following documents are attached to this building consent:
Project information memorandum 060388

**THIS COPY MUST BE
RETAINED ON WORKS**

Cutaway location plan (generally to scale)



APPROVED Subject to compliance
with District Plan, Building Act, N.Z. Building Codes

Building

& D

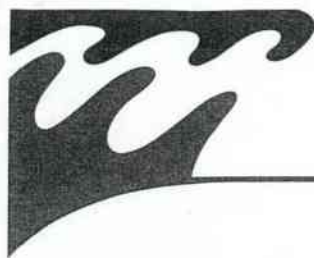
Fire & Egress

Electrical

District Plan

Inspector 1/9/06

m. v. f. g.



Code Compliance Certificate 060388

Section 95, Building Act 2004

The Applicant	The Building
R VAEGA 71 SNODGRASS ROAD RD EXT WESTPORT	Snodgrass, Westport Legal Description: Sec 1 Orowaiti Blk III Kawatiri SD Valuation or Property No: 1884012200

Building Work:

Description of Building Work: INSTALLATION OF WOODSMAN MATA RMF SPACEHEATER WITH WETBACK CONNECTION

Estimated Value: \$3,000

Current, lawfully established, use: DOMESTIC DWELLING

Year first constructed:

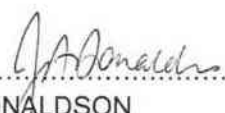
First Point of Contact:

The first point of contact for communications with the council/building consent authority will be with:
As above

Code Compliance:

The building consent authority named above is satisfied, on reasonable grounds, that [Delete as applicable]

- (a) the building work complies with the building consent; and
- (b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.


.....
J A DONALDSON
TECHNICAL OFFICER

On behalf of: Buller District Council

Date: 15/09/06

Butler County Council

Inspector: M _____ File No. _____

Receipt No. 8056/15

Date Permit Issued 30/7/84

OWNER	
Name	<u>Susan Gae Watson</u>
Mailing Address	<u>Snodgrass</u> <u>R.D. 2</u> <u>Westport</u>

BUILDER	
Name	<u>R Scarlett</u>
Mailing Address	<u>106 Domett Street</u> <u>Westport</u>

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	_____
Street Name	<u>Snodgrass</u>
Town/District	<u>Westport</u>
Riding	_____

LEGAL DESCRIPTION	
Valuation Roll No.	<u>1884/122</u>
Lot	_____ D.P. _____
Section	_____ Block _____
Survey District	_____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Extension to Porch

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>8</u>	Number Erected	_____
ESTIMATED VALUES \$	Building	<u>800</u>	_____
	Plumbing	_____	
	Drainage	_____	
	TOTAL	<u>800</u>	

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☒	ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>15</u>	Water Connection	\$ _____	Receipt No. <u>8056</u> Date of Payment <u>20/7/84</u> Authorised Officer <u>[Signature]</u>
Street Damage Deposit	\$ _____	Vehicle Crossing Levy	\$ _____	
Building Research Levy	\$ _____	M.S. Plumbing	\$ _____	
Plumbing	\$ _____		\$ _____	
Drainage	\$ _____		\$ _____	
Sewer Connection	\$ _____		\$ _____	
TOTAL:		\$ <u>15</u>		

Special Conditions: _____

Date Inspected

REMARKS (e.g. stage reached with work)

2/8/84
19/9/84

Foundation
Final

Date Inspected

COMPLETED (Signature)

J. Ferris

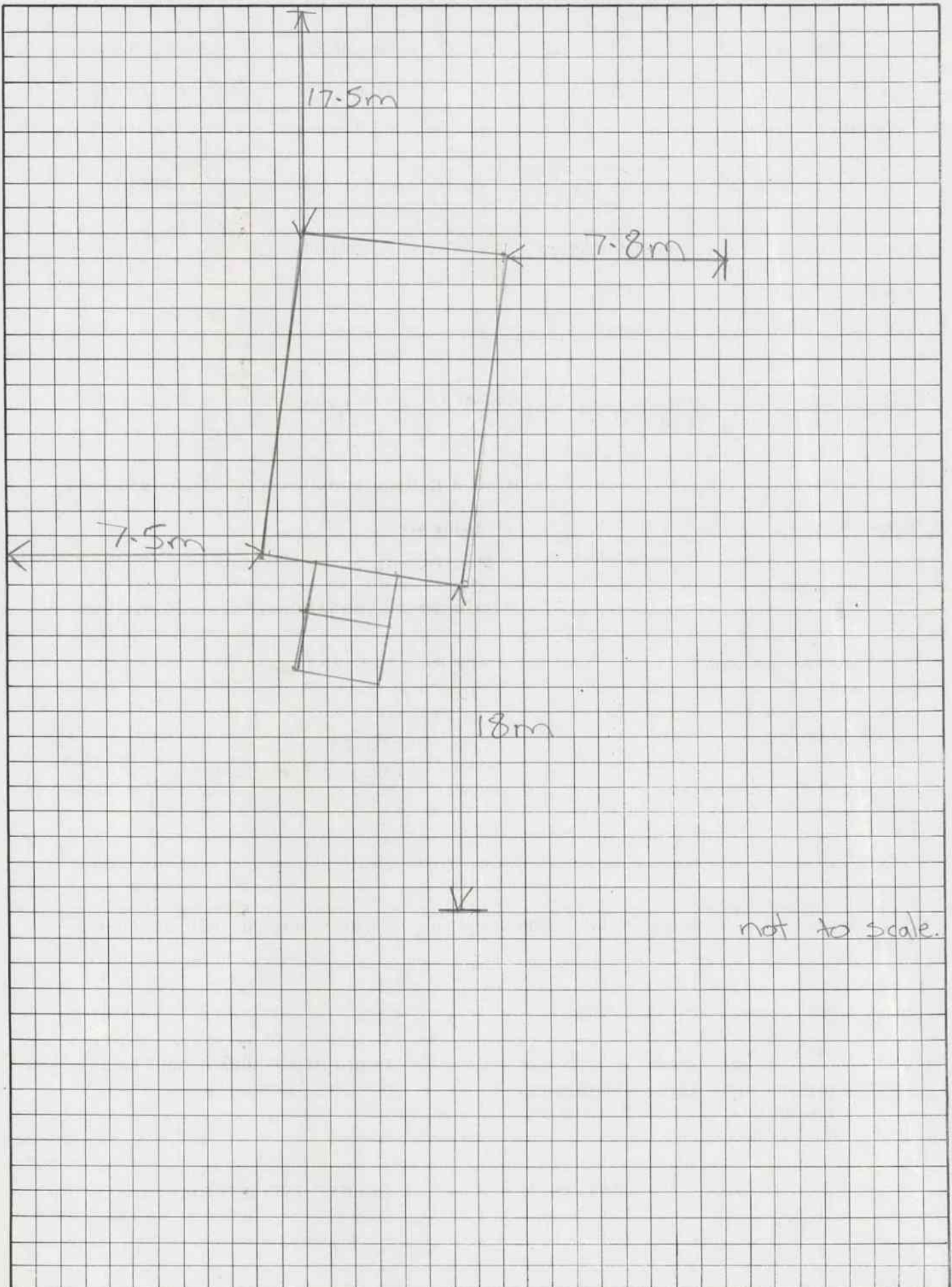
Date

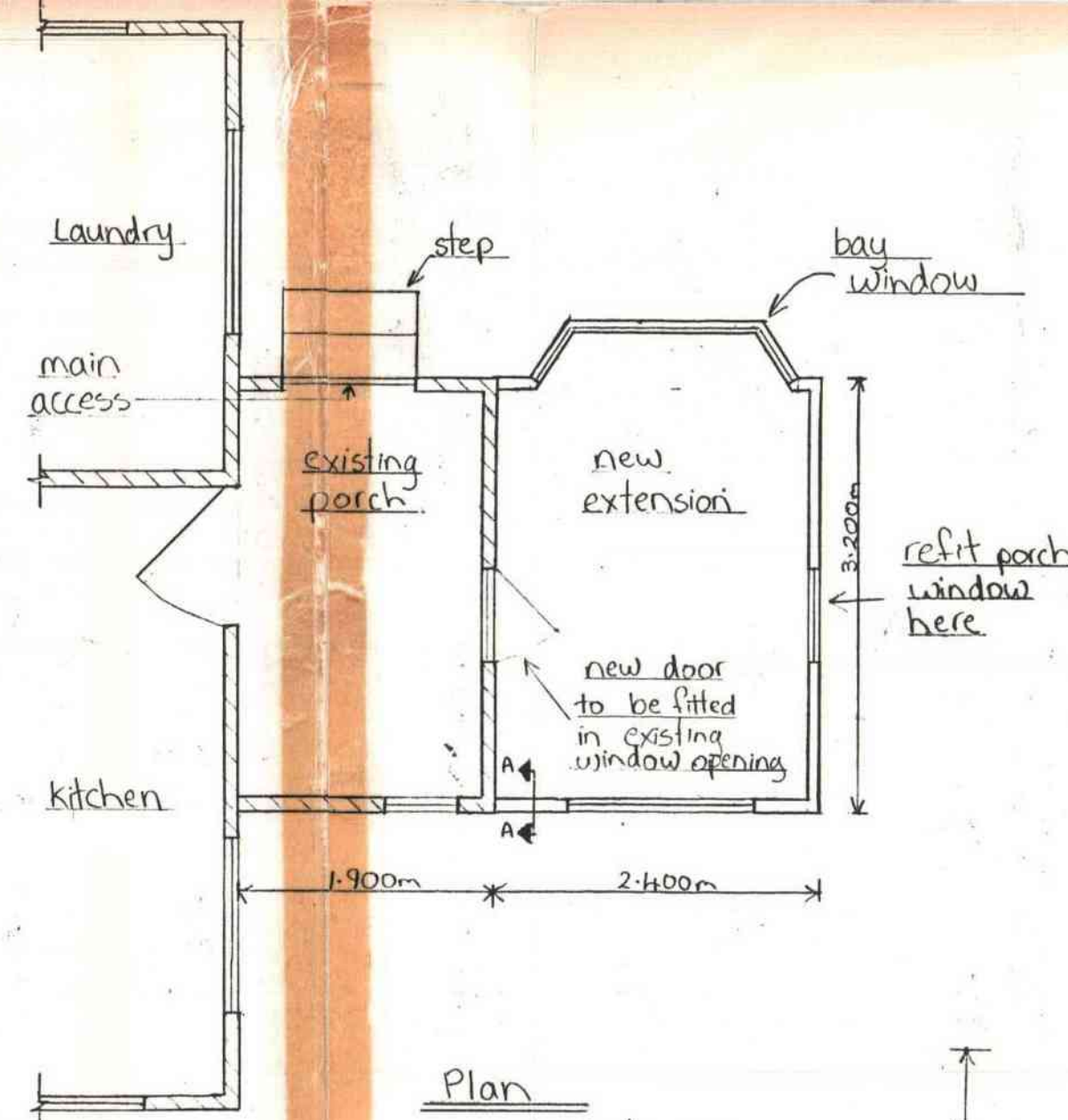
19 / 9 / 84

SITE PLAN:

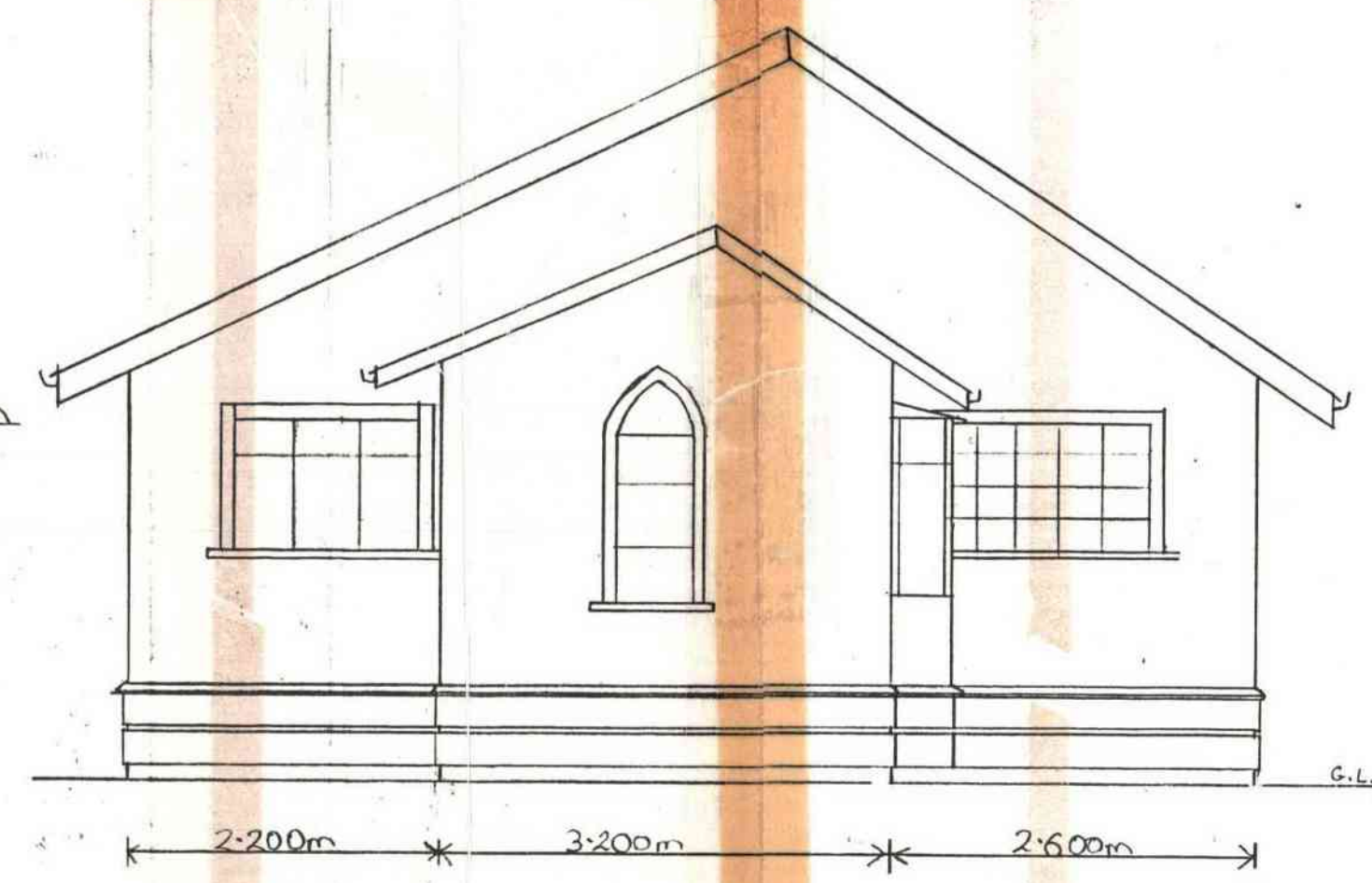
Show position of proposed building in relation to boundaries and any other buildings on site. Distance of building from boundaries MUST be shown. Show any existing drains and proposed drainage layouts including septic tank and disposal pit/field where applicable.

SHOW POSITION OF BUILDING IN RELATION TO BOUNDARIES

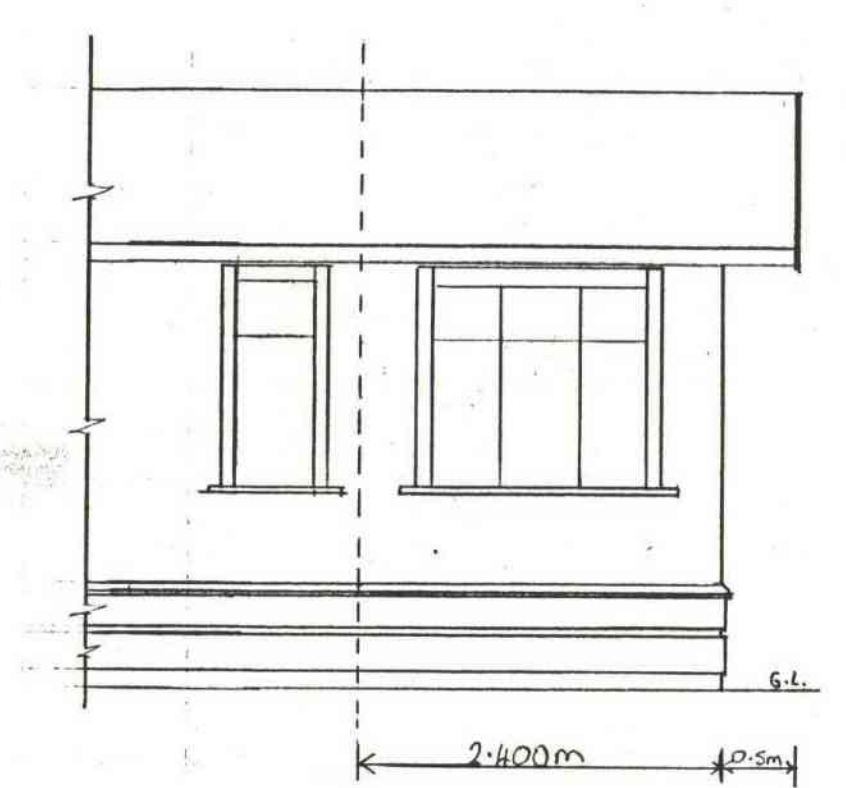




Scale 1:50



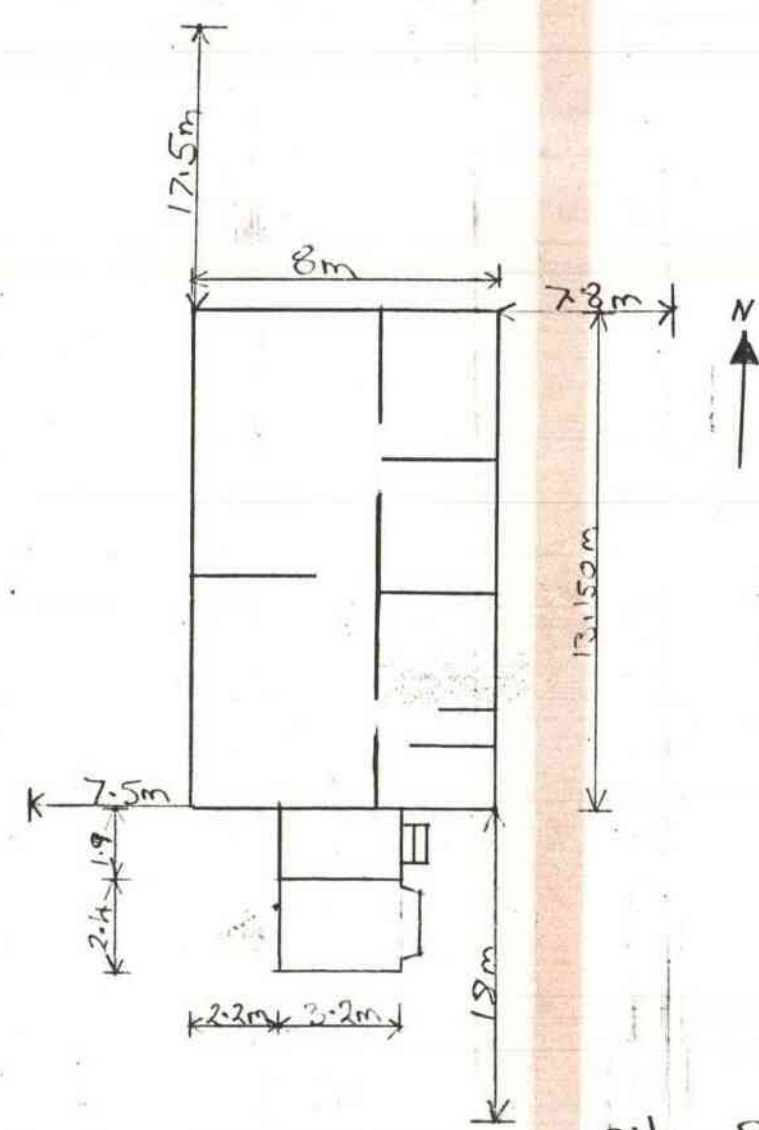
Scale 1:50



Scale 1:50

existing building

LEGEND



not to scale.

APPROVED Subject to Compliance with District Scheme, N.Z.S.S. 1900, Drainage & Plumbing Regulations

Building ☒

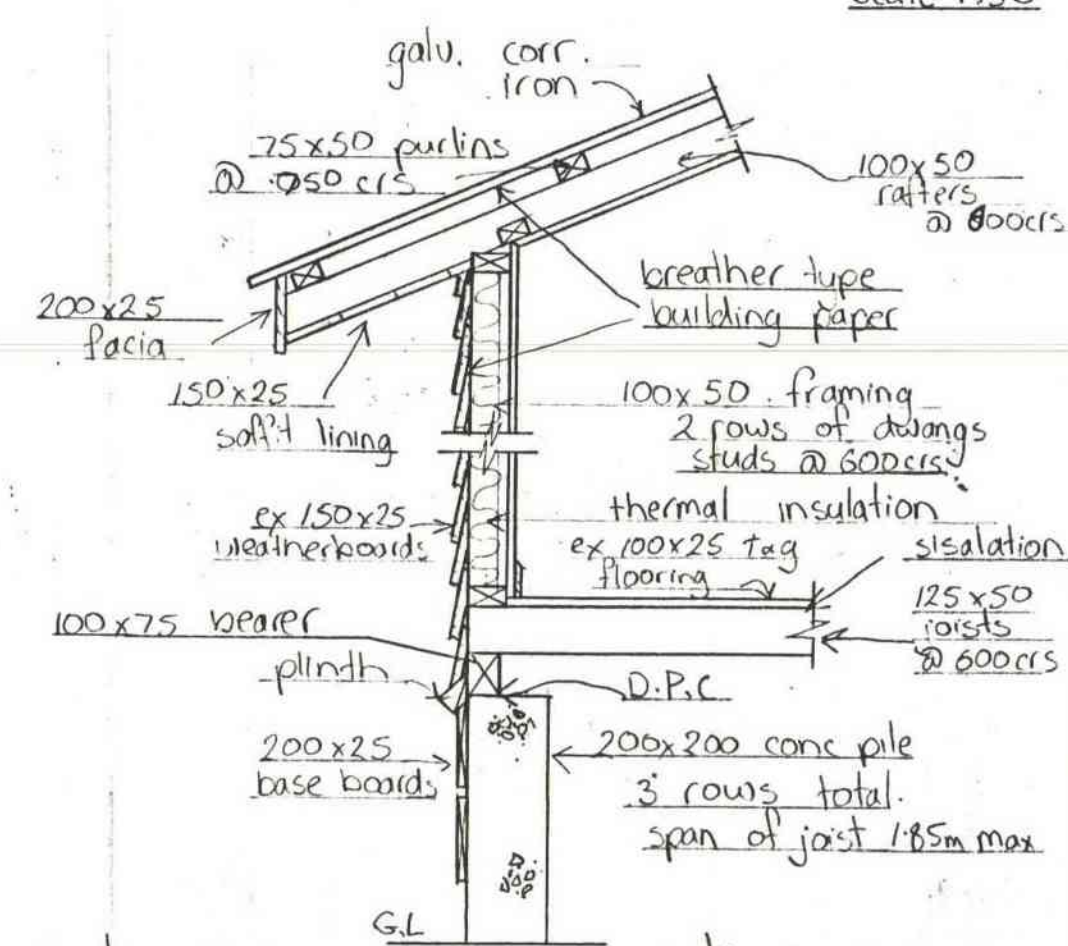
P. & D. ☒

Fire & Egress ☒

Health ☒

Town Plan ☒

Inspector 27/7/84 Date



scale 1:20

note all interior linings to g rimu. D.A.H.

Special note

all construction must comply with N.Z.S 3604 and amendments.

Proposed Extension to Mrs. S.G. Watson's House at Snodgrass

PERMIT APPLICATION

1. LOCATION AND OWNERSHIP

Local Authority: Buller County Council.

PERMIT NO. 101845

Date: _____

Number on Valuation Roll: 1884/122

Receipt No: _____

Lot: 1 Town of Oroukai D.P. (S.O. 10389) Section: _____ Block: 111

Site of Building: S.D. Kawatiri

Street: \$50.50 232

Township: _____

Riding: _____

Fees Payable - See Back for Scale

for Building Permit Fee, etc	\$ <u>24</u>	Rec. No. _____	Date: <u>- - 75</u>
Building Research Levy	\$ <u>2-80</u>	Rec. No. _____	Date: _____
the sum of (Total)	\$ <u>36-80</u>		
Street Damage Deposit	\$ <u>2</u>		
	<u>44</u>		

Owner - Name: <u>W Watson</u>	Signature: <u>W Watson</u>
Full Address: <u>Snodgrass R.O. 2 WPT</u>	
Builder - Name: <u>John Henry Wilson</u>	Signature: <u>JH Wilson</u>
Full Address: <u>6 Russell St. Wairoa</u>	

2. NATURE OF PERMIT (Tick box)

New building including separate buildings added to existing complex	☒	Repairs, alterations or extensions to an existing building	☐
Conversion	☐	Demolition	☐

3. VALUE AND AREA OF BUILDING (See back for example)

If Valued at more than \$20,000 or garage etc over 23.25 sq. metres state:

Est. Value of building work:	\$ <u>8000 - 14000</u>	Est. commencement date	_____ Mth. 19 <u>76</u>
Est. Value of Plumbing and Drainage	\$ <u>1000</u>	Est. completion date	_____ Mth. 19 <u>76</u>
Total	\$ <u>9000</u>	Building Registration No.	_____
Total Floor Area (Sq. M.)	<u>95 approx</u>		

4. DESCRIPTION OF BUILDING OR STRUCTURE AND MAIN PURPOSE FOR WHICH IT WILL BE USED:

all wooden solid built cottage to be used as house

Is it to be Rented: Yes No

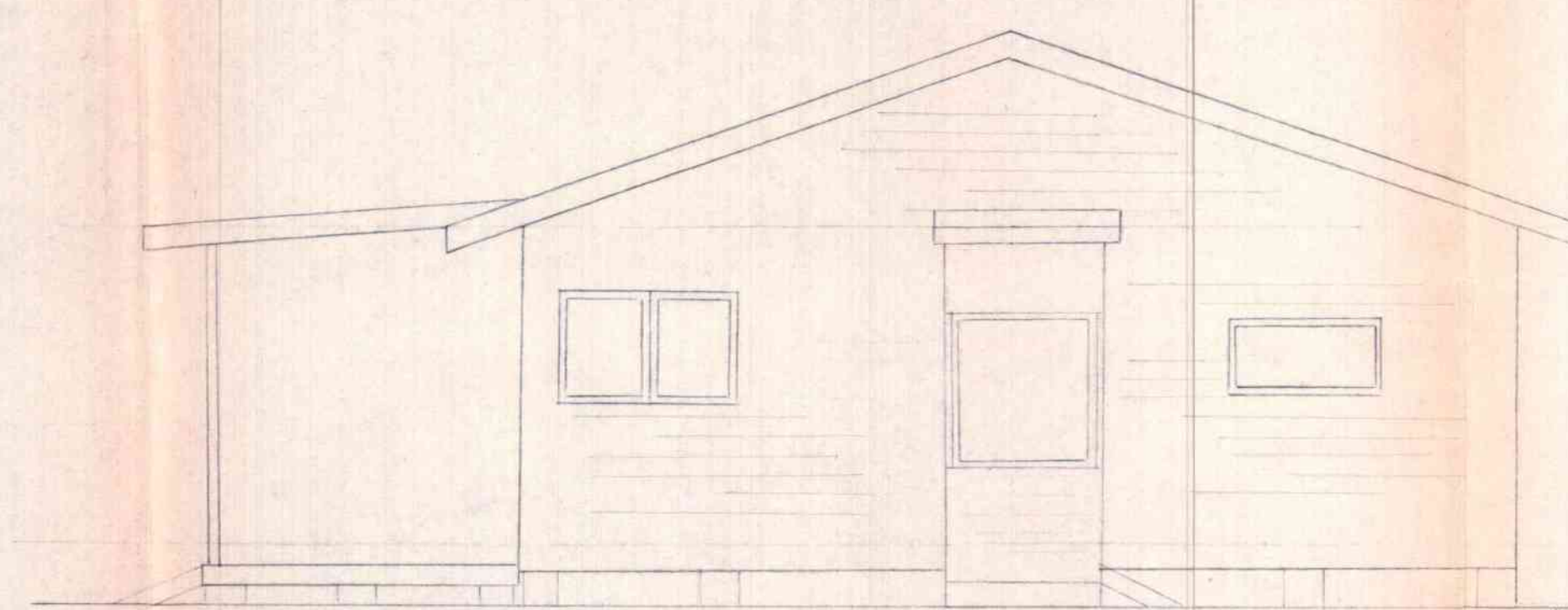
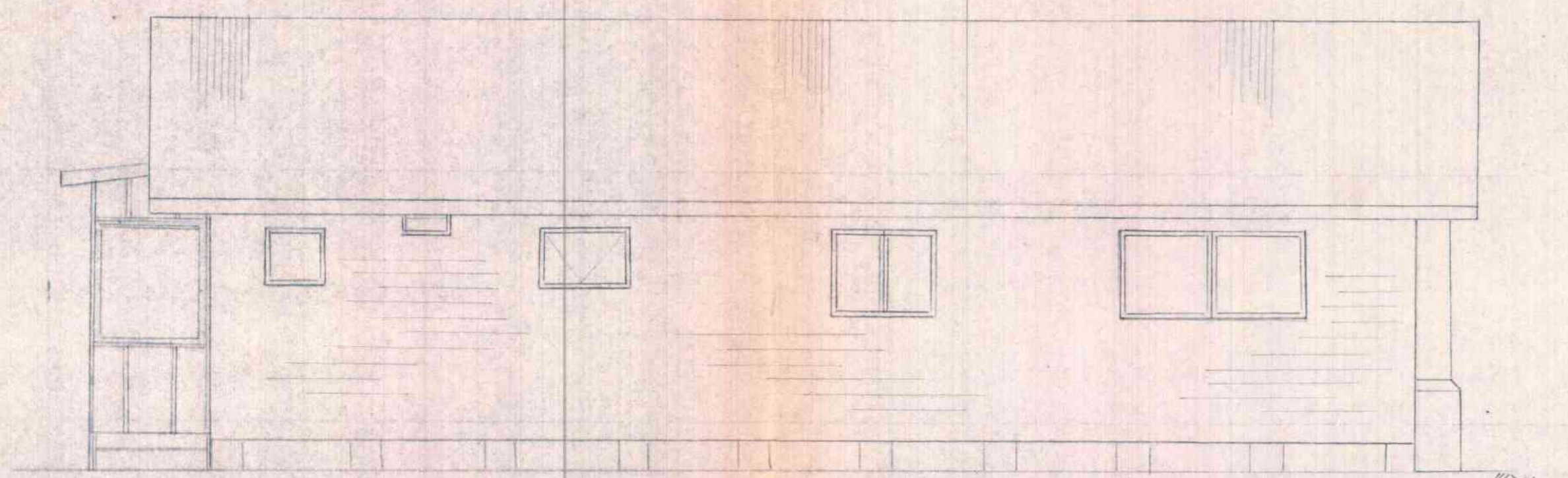
IMPORTANT: Has the section ever been filled Yes No

If so, what precautions are being taken _____

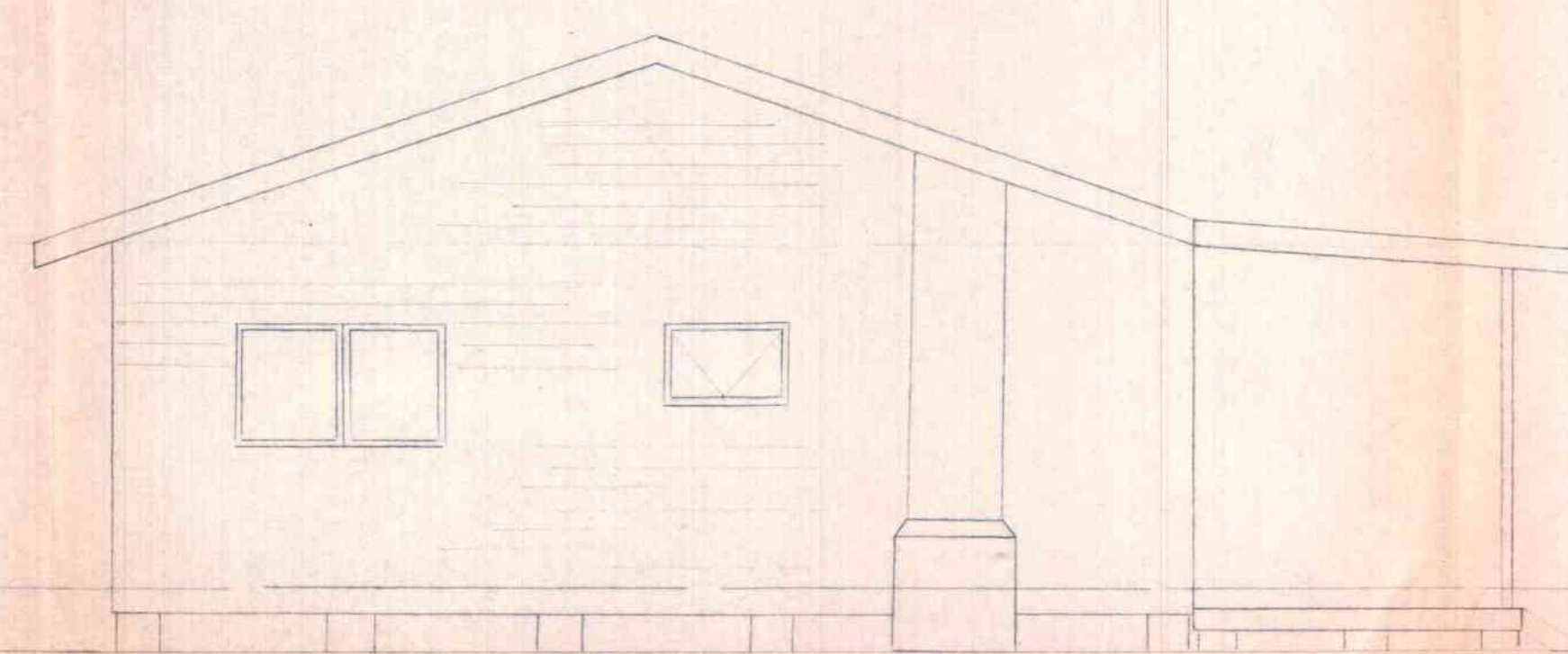
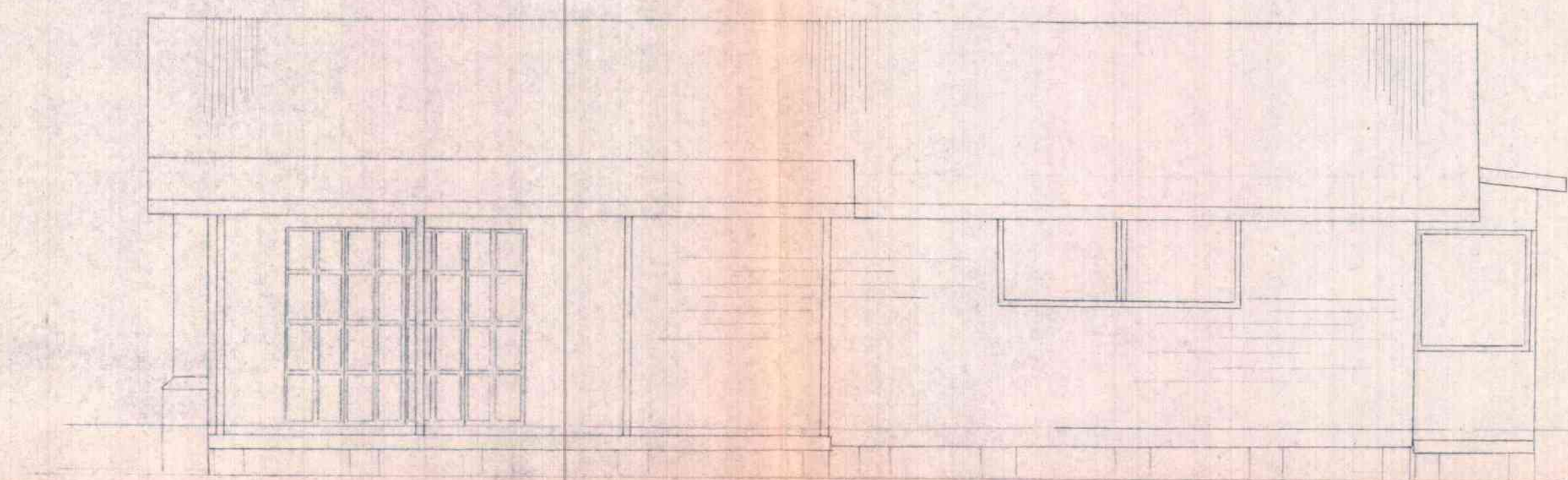
NOTE: All Plans and Specifications must be in METRIC.

Details required (Two copies of each)

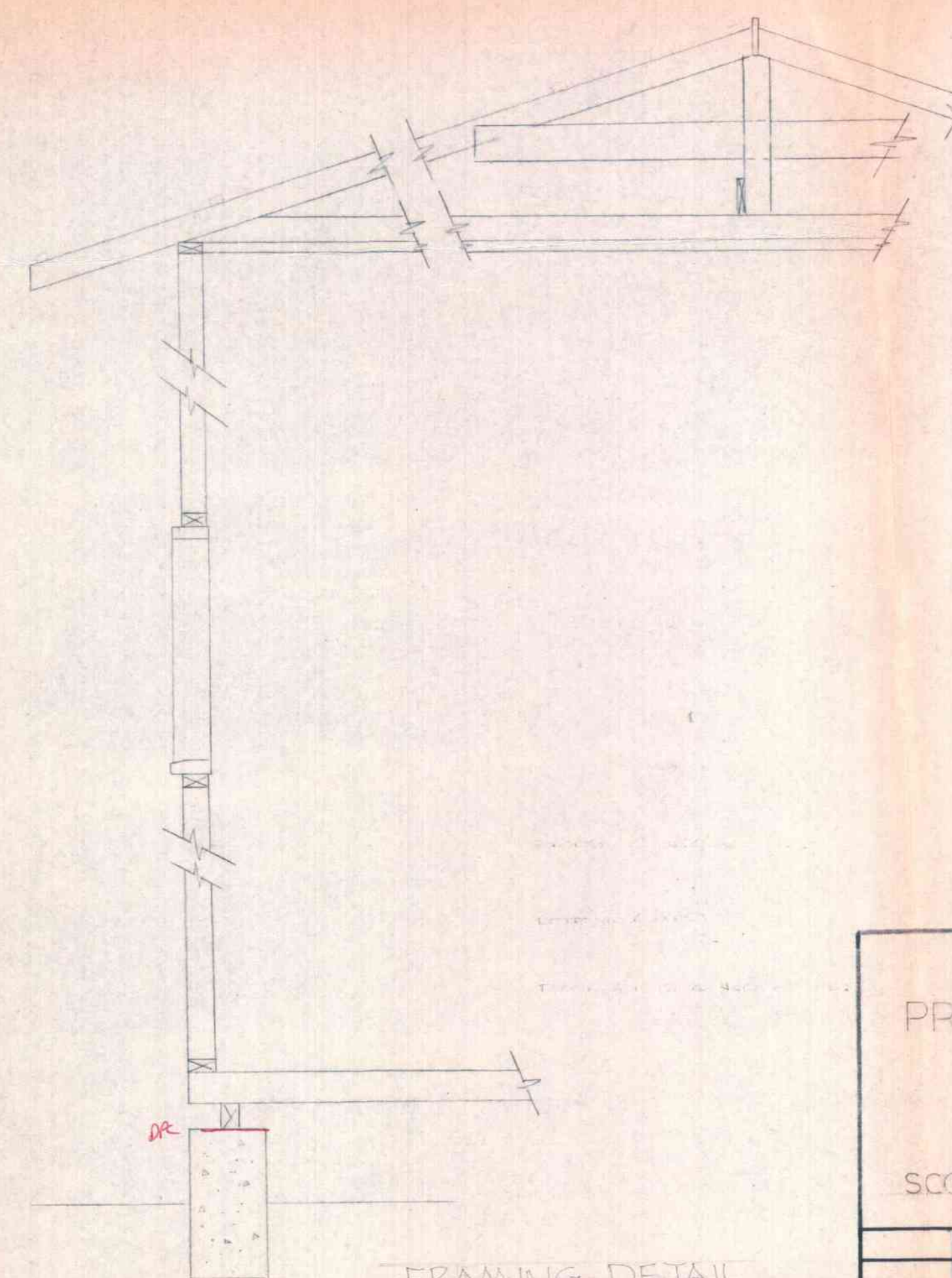
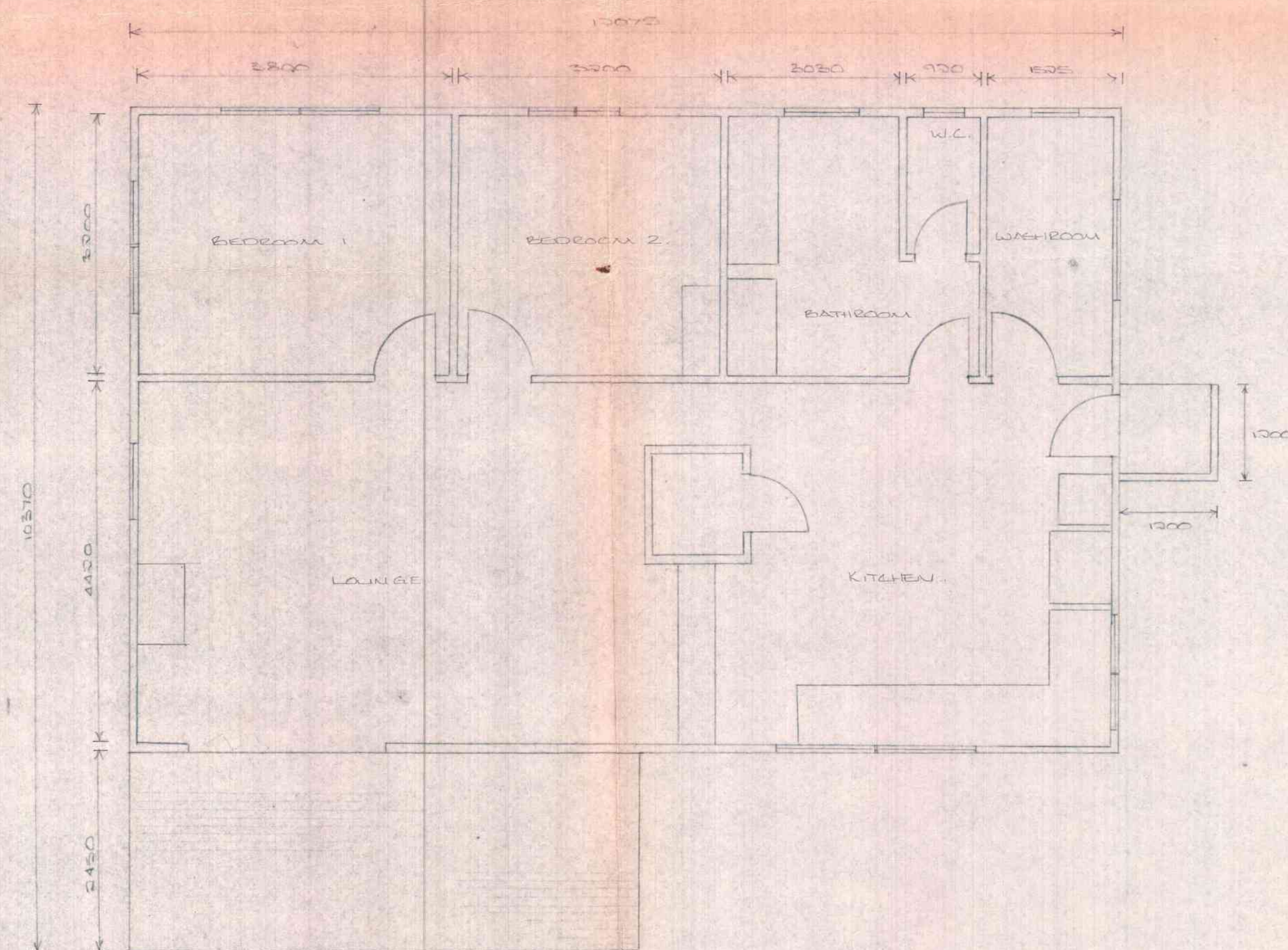
Full Site Plan - showing existing buildings etc.
Floor Plan, Specifications.



CEILING LINE
2400
FLOOR LINE



CEILING LINE
2400
FLOOR LINE



FRAMING DETAIL

PROPOSED RESIDENCE: MR W WATSON
SNODGRASS
WESTPORT

scale 1:20 & 1:50. drawn. S.BROWN 2-10-75

Rev. No.	Description of Revision	Sig.	Date
Designed			
Drawn			
Checked			
Traced			



WILKINS & DAVIES CONSTRUCTION COMPANY LTD.
Civil & Industrial, Mechanical & Electrical Engineering Contractors.

Reference Drawings

PROJECT

TITLE

JOB NO.

DRWG. NO.

BUILDING INSPECTOR'S
FIELD SHEET

AUTHORITY

Stats. No. D 049489

No.

Inspector: M

File No.

Receipt No.

Date Permit Issued

13/85

OWNER

Name

Mailing Address

BUILDER

Name

Mailing Address

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No.

Street Name

Town/District

Riding

LEGAL DESCRIPTION

Valuation Roll No.

Lot

D.P.

Section

Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

42

Number
Erected

—

ESTIMATED
VALUES
\$

Building
Plumbing
Drainage
TOTAL

4830
—
—
—
4830

NATURE OF PERMIT (TICK BOX)

☐

NEW BUILDING

— exclude domestic garages and domestic outbuildings

☐

FOUNDATIONS ONLY

☐

ALTERED, REPAIRED, EXTENDED

— include conversions and resited buildings

☐

NEW CONSTRUCTION

OTHER THAN BUILDINGS — include demolitions

☒

DOMESTIC GARAGES

AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit \$ 51-
Street Damage Deposit \$
Building Research Levy .. \$
Plumbing \$
Drainage \$
Sewer Connection \$

Water Connection \$
Vehicle Crossing Levy ... \$
M.S. Plumbing \$
TOTAL: \$ 51-

Receipt No.

Date of Payment

Authorised Officer

Special Conditions:

min. set back road boundary to garage to be 5M.

Date Inspected

REMARKS (e.g. stage reached with work)

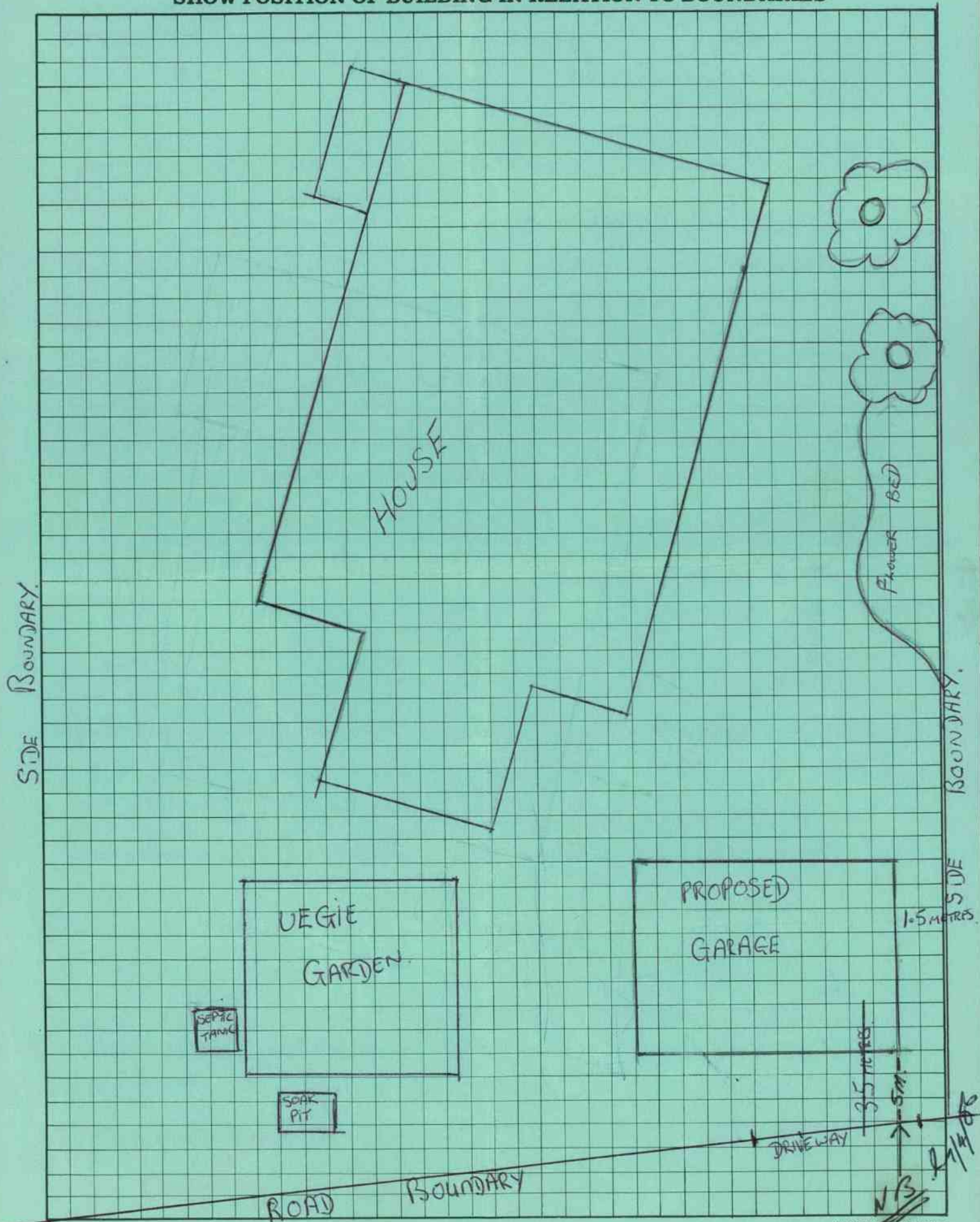
6/1/86

completed

SITE PLAN:

Show position of proposed building in relation to boundaries and any other buildings on site. Distance of building from boundaries **MUST** be shown. Show any existing drains and proposed drainage layouts including septic tank and disposal pit/field where applicable.

SHOW POSITION OF BUILDING IN RELATION TO BOUNDARIES



APPLICATION FOR PLUMBING & DRAINAGE PERMIT

The Plumbing & Drainage Inspector,
P.O. Box 21,
WESTPORT.

I, the undersigned, hereby make application for a permit to enable me to carry out the following plumbing and drainage work in accordance with the attached plan (for drainage) and specifications.

Owner: SUSAN GAE WATSON.

Address: SNODGRASS RD.2 WESTPORT

Plumber & Drainlayer: B.R. Easton Reg No. 04287

Address: 10 Watson St. Westport

(Address and Legal Description where work is to be carried out).
(Give full details including street name and number).

Valuation Roll No. 18840/122 Lot Sec 1

D.P. Sec. 1 Block Orowan

Survey District (Rate demands give this information)

Street and Number SNODGRASS RD

Work to be done Plumbing and Drainage

Estimated cost \$ 600 Permit fee \$ 50

I undertake to ensure that all work is carried out in accordance with the Drainage & Plumbing Regulations.

Plumber & Drainlayer (signed) B.R. Easton

Receipt No. 8148 Date 19/6/80

Permit No. 562 Date 19/6/80

Inspector: M _____

File No. _____

Receipt No. 58816Date Permit Issued 4/3/90

OWNER

Name P. MATHERSON V.S.G. WATSONMailing Address SNODGRASSRD2WESTPORT

BUILDER

Name AS CORNER

Mailing Address _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name _____

Town/District SNODGRASS

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. 1884/122

Lot _____

D.P. _____

Section 1 CROSSITBlock IIISurvey District KAWATIRI

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

INSTALL FISHER BEN HEIM FREESTANDING SPACE HEATER

FLOOR AREA

Whole
Sq. Metres

DWELLING UNITS

Number
ErectedESTIMATED
VALUES
\$Building
Plumbing
Drainage
G.S.T.
TOTAL1500 001580 00

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
— exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
— include installation of heating appliances
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS — include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>26 67</u>	Water Connection	\$ _____
Street Damage Deposit ..	\$ _____		\$ _____
Building Research Levy ..	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy ..	\$ _____	G.S.T.	\$ <u>3 33</u>
M.S. Plumbing	\$ _____	TOTAL:	\$ <u>30 00</u>

Receipt No. 6467Date of Payment 13/3/90Authorised Officer J. Ackers

Special Conditions:

1. The solid fuel burning appliance and/or chimney being installed pursuant to this permit is to be installed in accordance with NZS 7421.

2. Please arrange for an inspection of this appliance when it is installed.

3-33

Date Inspected

REMARKS (e.g. stage reached with work)

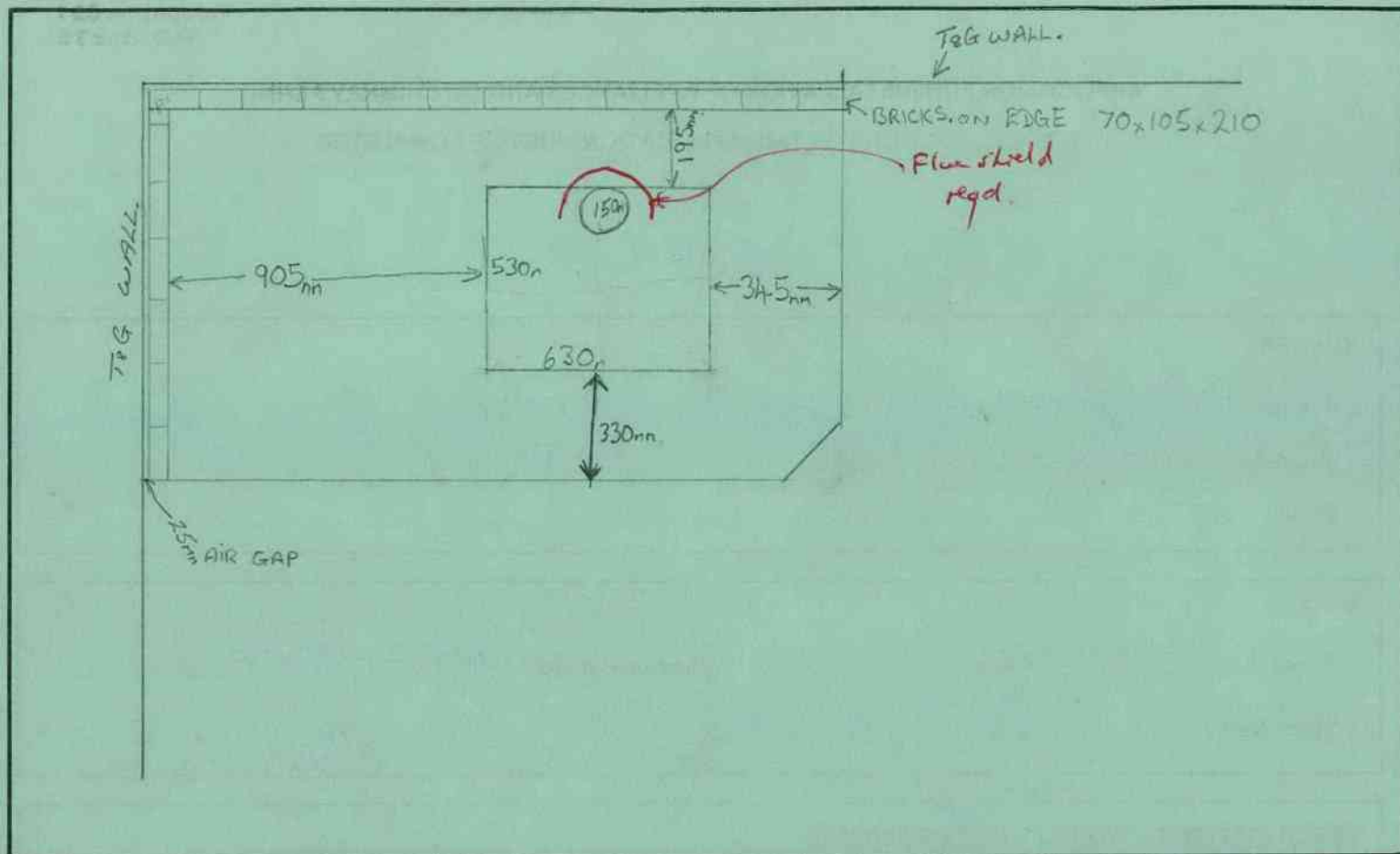
16.7.90INSPECTED FREE STANDING HEATER INSTALLATION + APPROVED

[illegible]

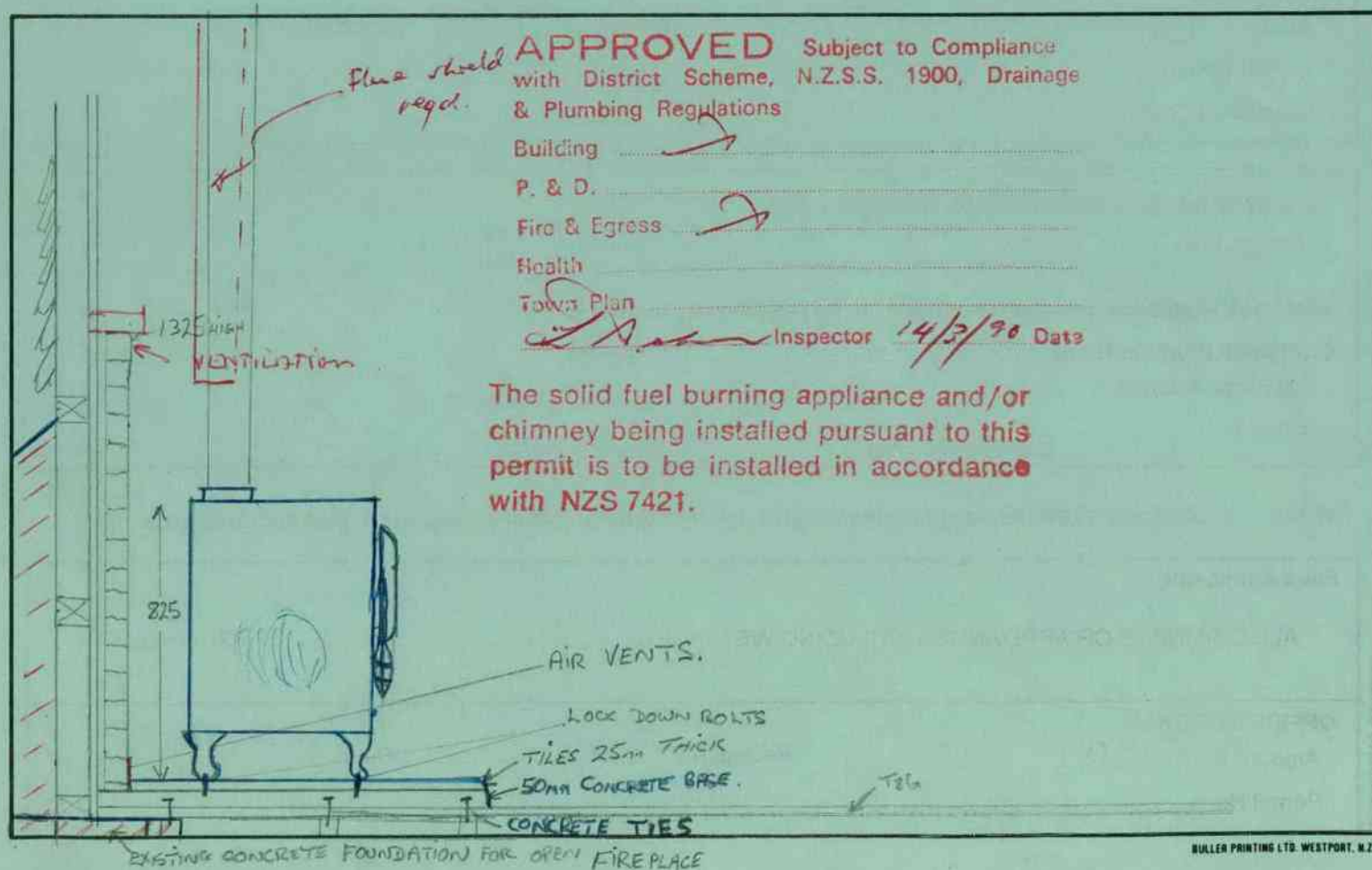
[Handwritten signature]

Date 16 17 190

ROOM PLAN (Show room with dimensions in which the appliance/chimney is to be located)



CROSS SECTION (Show appliance/chimney, floor, wall, and ceiling with dimensions) (to scale).



5.2.2. Residential Zone

5.2.2.1. Any activity in the Residential Zone is either permitted, controlled or discretionary if it falls within the standards for each category in Table 5.1. It must also comply with the District Wide rules in Part 7.

5.2.2.2. Permitted Activities

5.2.2.2.1. Network utilities, subject to compliance with Part 6 (Infrastructure).

5.2.2.2.2. Vehicle Trips

5.2.2.2.2.1. Non-residential activities must not involve more than 4 heavy vehicle trips per day to or from a site, where the site immediately adjoins a boundary of, or is separated only by a road and is directly opposite, a residential property.

5.2.2.2.2.2. Non-residential activities must not involve, for sites with frontage to a strategic route, arterial or collector route as listed in Part 13, total generation of 40 vehicle trips per day to or from the site, and on all other sites, no more than 30 vehicle trips per day.

Table 5.1 Residential Zone Standards

ITEM	PERMITTED	CONTROLLED	DISCRETIONARY
Access	Refer to Part 7.4	Refer to Part 7.4	Refer to Part 7.4
Boundaries	Front Sites 5m setback from road boundaries. 1m setback from all other boundaries. Rear Sites One yard of 5m. 1m setback from all other boundaries. Roof Overhangs May encroach into the yard by up to 750mm.	Front Sites Not applicable for road boundaries. Not more than 10m of wall shall be built closer than 1m to a boundary line. Rear Sites Not applicable for the yard of 5m. Not more than 10m of wall shall be built closer than 1m to a boundary line. Roof Overhangs May encroach into the yard by up to 750mm.	Front Sites 3.5m setback from road boundaries. Not more than 20m of wall shall be built closer than 1m to a boundary line. Rear Sites One yard of 3.5m. Not more than 20m of wall shall be built closer than 1m to a boundary line. Roof Overhangs May encroach into the yard by up to 750mm.

		For all Controlled activities in relation to Boundaries in the Residential Zone the matters over which control is reserved are: • The position, design and external appearance of buildings. • The position of buildings in the landscape setting. • The imposition of financial contribution conditions as provided for in Part 8 of the Plan.	
Building Height	Maximum building height is 10m.	Not applicable.	Maximum building height is 12m.
Buildings	Two Habitable Buildings per site.	Where a site meets all of the following criteria: • It is connected to or is capable of being connected to reticulated sewerage by gravity mains; • It is capable of containing three or more notional sites each able to contain a square measuring at least 15m x 15m; • All existing buildings can comply with the permitted or controlled activity standards for the Residential Zone in relation to Boundaries, Building Height, Parking, Recession Planes, Site Coverage and Stormwater Disposal within the notional sites, or, where an	Up to four Habitable Buildings per site provided that all of the buildings comply with the permitted activity standards for the Residential Zone in relation to Boundaries, Building Height, Parking, Recession Planes, Site Coverage and Stormwater Disposal.

		existing building does not comply with the current District Plan standards but is subject to an existing resource consent or existing use rights under the Act, the notional sites do not increase the extent to which the building fails to comply; and - Any proposed buildings can comply with the permitted or controlled activity standards for the Residential Zone in relation to Boundaries, Building Height, Parking, Recession Planes, Site Coverage and Stormwater Disposal within the notional sites; each notional site may contain one Habitable Building. The matters over which control is reserved are: - The position, design and external appearance of buildings. - The position of buildings in the landscape setting. - The imposition of financial contribution conditions as provided for in Part 8 of the Plan.	
Developments	Refer Part 8	Refer Part 8	Refer Part 8
Esplanade Strips	Refer to Part 7.9.6	Refer to Part 7.9.6	Refer to Part 7.9.6

General	Refer to Part 7.9.1	Refer to Part 7.9.1	Refer to Part 7.9.1
Glare	Refer to Part 7.9.4	Refer to Part 7.9.4	Refer to Part 7.9.4
Ground Floor Area	The maximum gross ground floor area of a single building for non-residential activities is 250m ² .	Not applicable.	Not applicable.
Hazardous Substances	Refer to Part 6.3	Refer to Part 6.3	Refer to Part 6.3
Historic/Cultural Items	Refer to Part 7.9.7	Refer to Part 7.9.7	Refer to Part 7.9.7
Hours of Operation	Non-residential activities may only operate within the hours of 0700 to 2200 weekdays and 0800 to 2000 weekends and public holidays.	Not applicable.	Not applicable.
Light Spill	Refer to Part 7.9.4.2	Refer to Part 7.9.4.2	Refer to Part 7.9.4.2
Noise	Refer to Part 7.8	Refer to Part 7.8	Refer to Part 7.8
Notable Trees	Refer to Part 7.9.8	Refer to Part 7.9.8	Refer to Part 7.9.8
Odour	No objectionable odour shall be emitted so that it can be smelt at the boundary of any adjoining site.	Not applicable.	Not applicable.
Parking	Refer to Part 7.5	Refer to Part 7.5	Refer to Part 7.5
Planting	Refer to Part 7.9.3	Refer to Part 7.9.3	Refer to Part 7.9.3
Recession Planes	Refer to Part 7.6	Refer to Part 7.6	Refer to Part 7.6
Signs	Refer to Part 7.7	Refer to Part 7.7	Refer to Part 7.7
Site Coverage	Maximum site coverage is 40%.	Not applicable.	Maximum site coverage is 55%.
Storage	No external storage of products except for that associated with residential use of a site shall be visible from any residentially zoned property or public road.	Not applicable.	Not applicable.
Stormwater Disposal	Refer to Part 7.9.2	Refer to Part 7.9.2	Refer to Part 7.9.2
Subdivision	Refer to Part 7.3	Refer to Part 7.3	Refer to Part 7.3

5.2.2.3. Explanation/Reasons

5.2.2.3.1. The residential zone covers areas in Westport, Reefton and Karamea and the small settlements. Rules and standards are specified which determine which activities are considered appropriate in terms of environmental effects, such as height, bulk, location and sunlight protection. The standards aim to allow activities which are residential in nature or which are compatible with residential use. In doing so the dominant residential character of these settlements should be maintained.

5.2.2.3.2. Hours of operation of non-residential activities are restricted to ensure the quiet and relaxed nature of

residential areas during night-time hours is maintained and not disrupted by activities which may wish to operate for extended hours.

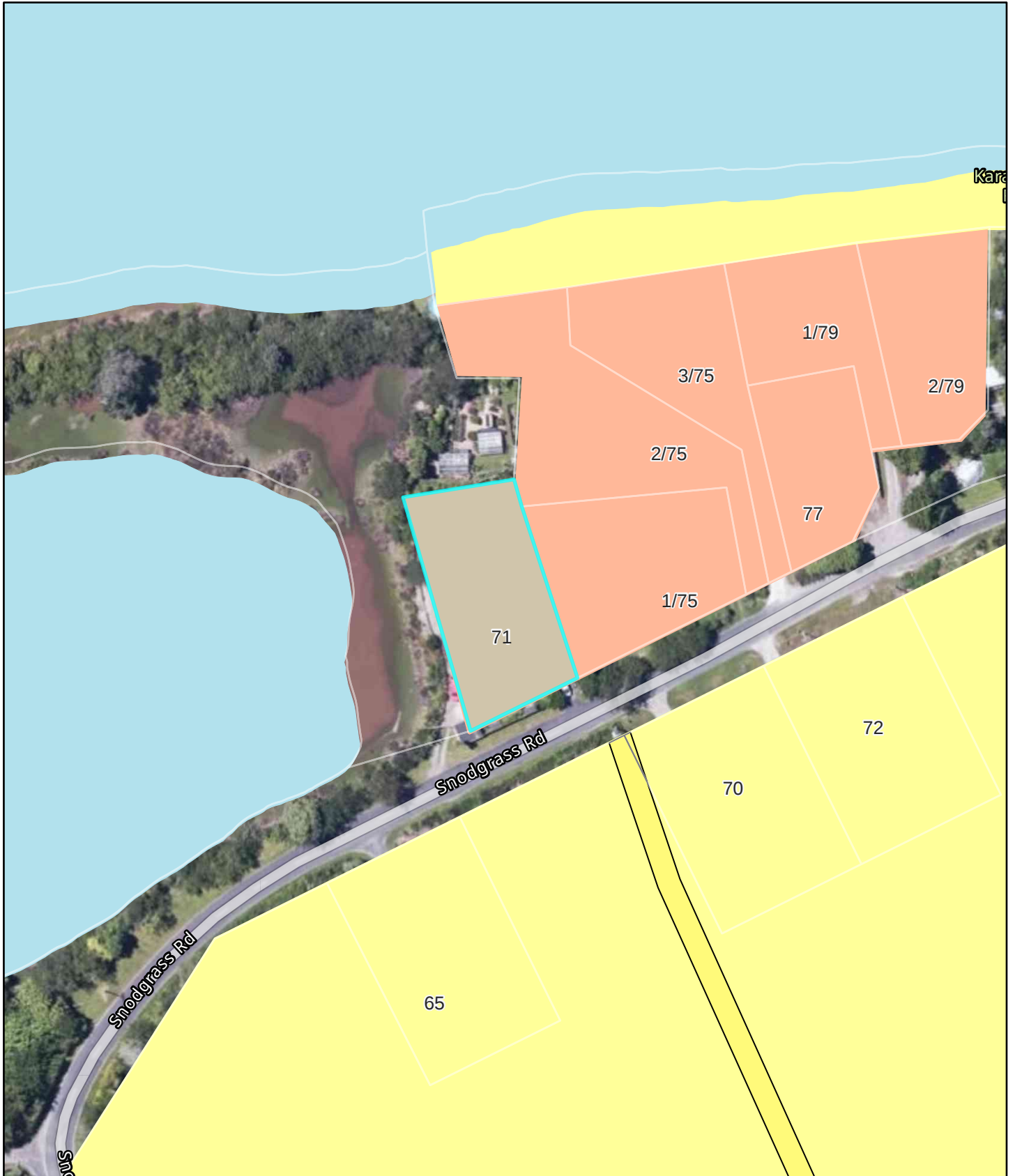
- 5.2.2.3.3. Floor area and building length controls are necessary to ensure that large bulky buildings, such as warehouses, do not proliferate throughout the residential area and disrupt the dominant residential fabric and character of the residential zone.
- 5.2.2.3.4. Height controls ensure that buildings of two storeys may locate as of right. However, buildings above two storeys are considered to have effects which need to be controlled. Such standards are necessary to ensure the amenities of neighbours are protected, in particular aspects such as sunlight, outlook and privacy.
- 5.2.2.3.5. Restrictions on heavy vehicle movements in residential areas ensure that the infrastructure resource, in particular roading, is not placed under undue pressure. Heavy vehicles in residential areas also generate significant traffic noise and can present a safety hazard for both pedestrians and motorists.
- 5.2.2.3.6. The use of hazardous substances in residential areas is not a permitted activity because of the potentially adverse effects from spills or accidents. In residential areas, the potential effects of accidents or spills can be amplified because of the greater density of people present and so a greater number of those who potentially could be affected. Activities involving hazardous substances are controlled in all zones.
- 5.2.2.3.7. Standards for traffic movements aim to ensure that activities do not significantly increase traffic volumes on residential streets. An increase in traffic can have adverse effects on amenity, health and safety.
- 5.2.2.3.8. Controls on the distance between buildings and property boundaries are necessary to ensure effects on neighbouring landowners and activities are minimised and to maintain amenity values. Yards also allow landscaping and infrastructure services to be supplied to a site.
- 5.2.2.3.9. Site coverage and the number of habitable buildings on a site are controlled to ensure that sufficient open space is provided in residential areas and that the scale and intensity of development remains in keeping with the residential nature of the residential zone. In areas where

reticulated sewage is not provided for, limits on site coverage and the number of habitable buildings on a site assist in maintaining an area which is adequate for on-site disposal.

5.2.2.3.10. External storage of commercial or industrial products can be visually offensive and can break-up the dominant residential character of an area. Accordingly outdoor storage of such products is not permitted as of right. More than two visible non-registered vehicles is classified as a non-residential activity.

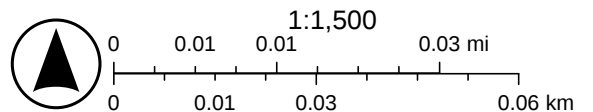
5.2.2.3.11. Also see Part 7.2 for explanation and reasoning of specific standards.

71 Snodgrass Road, Westport - BDC Planning Map



14/07/2026, 08:12:18

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> BDC Property Master - Parcel BDC NonPrimaryParcels Transpower 20m Buffer Span Line | <ul style="list-style-type: none"> Historic Buildings and Structures Notable Trees Coastal Hazard | <ul style="list-style-type: none"> Port Residential Rural Rural Zone Water Scenically Sensitive Commercial Zone Scenically Sensitive Residential Zone Sea Sergeants Hill Industrial Area LINZ NZ Addresses New Zealand Imagery |
| <ul style="list-style-type: none"> Hydro Features Other Hydro Features Rural Zone Water Transpower Line Historic Places | <ul style="list-style-type: none"> Zones Cement Production Commercial Industrial Natural Environment Areas Paparoa Character Area | |



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Te Tai o Poutini Plan

71 Snodgrass Road Westport 7825

Valuation Number:
18840/122.00
Area: 0.116 ha
Legal Description: Section 1 TN
OF Orowaiti



☐ Property Specific Te Tai o Poutini Plan Chapters
☐ View Full Te Tai o Poutini Plan
☐ Zoom to selected property
☐ Clear selected property

Appeals: 13 May 2026
Revisions: 13 May 2026
[Change](#)

The following information applies to this property

Zones and Development Areas

☒ **Zone**
Zone: Open Space Zone

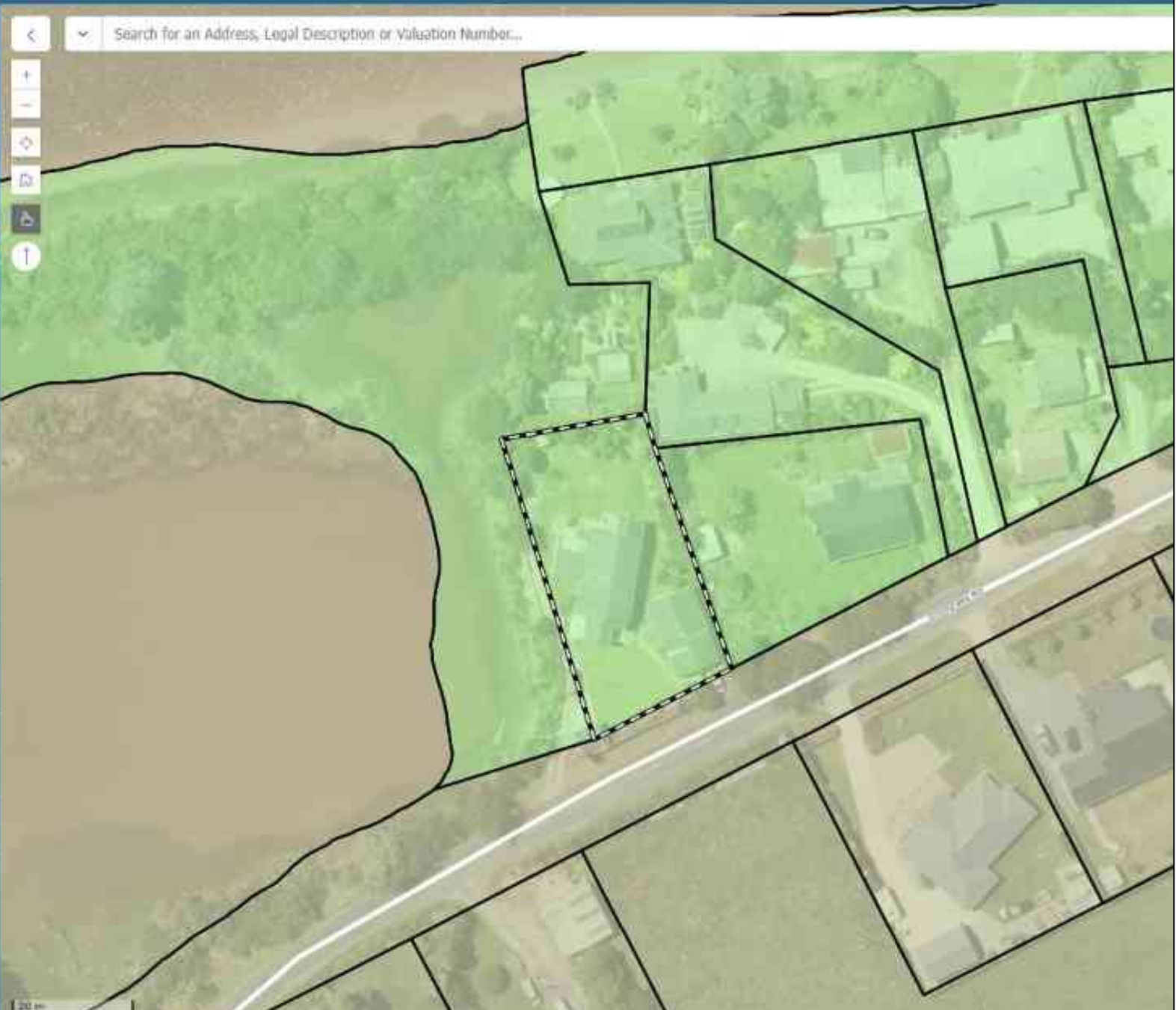
Appeals

General District Wide Matters

Coastal Environment

Hazards and Risks
☐ Westport Hazard Overlay

Search for an Address, Legal Description or Valuation Number...



Te Tai o Poutini Plan

71 Snodgrass Road Westport
7825

Valuation Number:
18840/122.00
Area: 0.116 ha
Legal Description: Section 1 TN
OF Orawa



- ☒ Property Specific Te Tai o Poutini Plan Chapters
- ☐ View Full Te Tai o Poutini Plan
- ☐ Zoom to selected property
- ☐ Gear selected property

Appeals: 13 May 2026
Revision: 13 May 2026

[Change](#)

The following information applies to this property

Zones and Development Areas

Zone

Zone: Open Space Zone

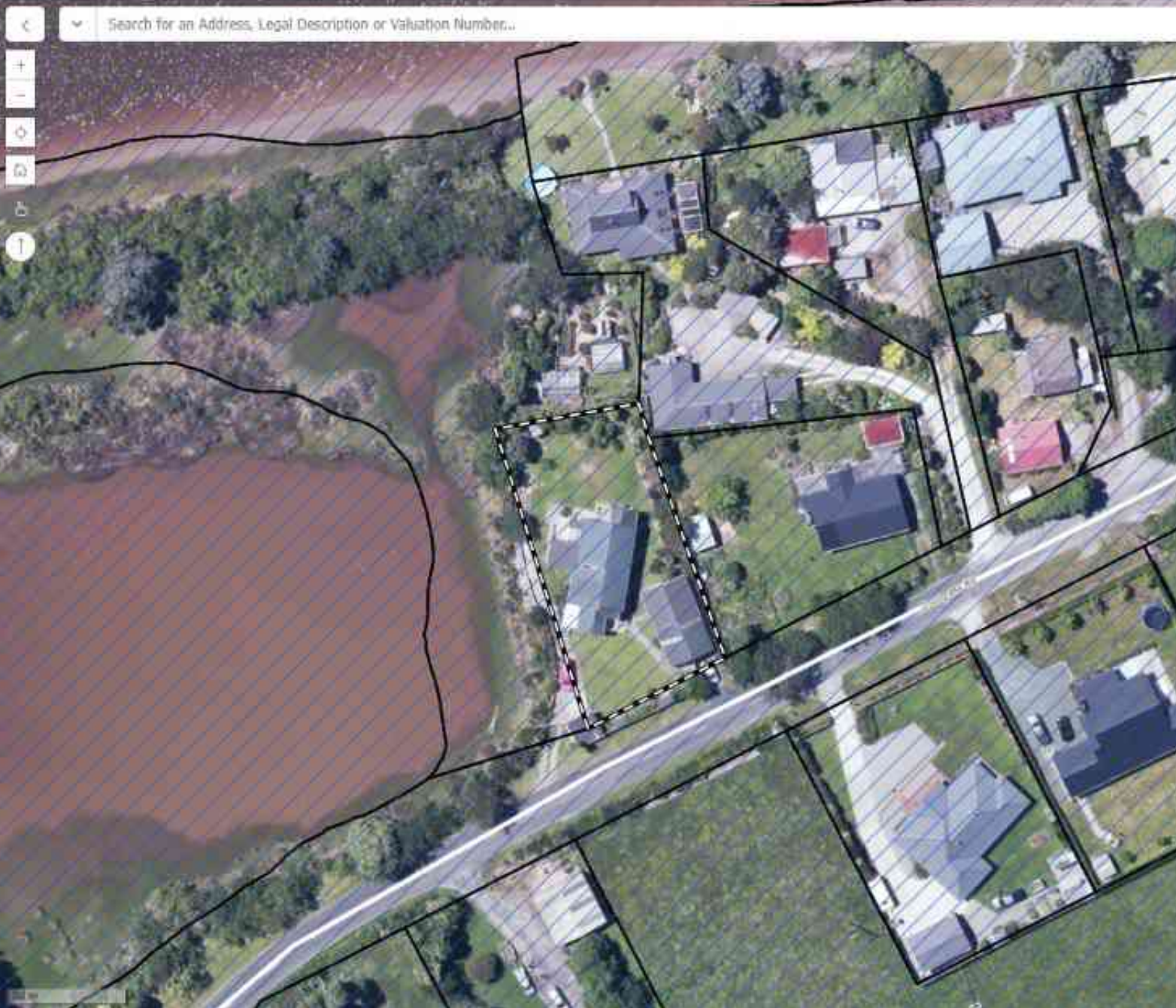
Appeals

General District Wide Matters

☒ Coastal Environment

Hazards and Risks

☐ Westport Hazard Overlay



Te Tai o Poutini Plan

71 Snodgrass Road Westport
7825



Valuation Number:

18840/122.00

Area: 0.116 ha

Legal Description: Section 1 TN
OF Oruaiti



Property Specific Te Tai o Poutini Plan
Chapters:

[View Full Te Tai o Poutini Plan](#)

[Zoom to selected property](#)

[Clear selected property](#)

Appeals: 13 May 2026

Revisions: 13 May 2026

[Change](#)

The following information applies to this
property

Zones and Development Areas

Zone:

Zone: Open Space Zone

Appeals

General District Wide Matters:

Coastal Environment

Hazards and Risks

☒ Westport Hazard Overlay



Search for an Address, Legal Description or Valuation Number...



40m

This section has rules that are subject to appeal.

SETZ

Settlement Zone- Te Takiwā Nōhanga Pōnaho

Overview

The SETZ - Settlement Zone covers all the wide range of settlements that are outside of the four main towns throughout Te Tai o Poutini/the West Coast. Settlements differ from the main towns because of their small scale and low intensity of development. They comprise a mixture of residential, commercial, recreational, rural, community and other uses, often interspersed. The character of settlements is influenced by the prevailing mixture of uses, large section sizes, low intensity of development and informal appearance.

The extent of reticulated services is limited. While some settlements in Grey District have a reticulated water supply, most settlements have no reticulated servicing, and are reliant on the use of on-site wastewater systems and water supplies. The degree of road infrastructure developed is also variable. Older settlements may have a main street with footpaths, streetlights and kerb and channel, but many locations do not have this infrastructure and this more rural character should generally prevail in any new development.

The SETZ - Settlement Zone provides for residential activities as well as some commercial activities. Where industrial activities are proposed these need to be undertaken in an INZ - Industrial Zone.

There are three Precincts within the SETZ Settlement Zone - SETZ - PREC2 - Settlement Centre, SETZ - PREC3 - Coastal Settlement and SETZ - PREC4 - Rural Residential.

The RURZ - Rural Zones Objectives and Policies and SETZ - Settlement Zone Rules provide the framework for managing the effects of development in the SETZ - Settlement Zone. However, there are additional specific policies and rules for each of the three Precincts. Where there is a conflict between a SETZ - Settlement Zone provision and a Precinct provision, the Precinct provision applies.

SETZ - PREC2 - Settlement Centre Precinct is located in settlements where a focal community and commercial area is developing. It is anticipated that the Settlement Centre character will develop over time, with more commercial development in particular. This precinct anticipates the possibility that the settlement will grow and demand for retail and commercial services will increase, and that community facilities could be developed or expanded with this growth. Settlement Centre Precincts are identified in Karamea, Charleston, Blackball, Kumara, Ross, Harihai, Kaniere and Haast.

SETZ - PREC3 - Coastal Settlement Precinct is located over settlements which are located in coastal areas, generally within or near areas of high coastal natural character and coastal landscape values. The Coastal Settlement Precinct provides principally for residential activities, and a low-scale development and subdivision pattern which fits with the surrounding scenic landscape. Design of buildings, their size and location are all key matters which are controlled within the Coastal Settlement Precinct. Little Wanganui (subdivision area), Punakaiki (including within Grey District), Ōkarito, Okuru, Hannah's Clearing, Neil's Beach, Mahitahi/Bruce Bay and Okahu/Jackson Bay are included in the Coastal Settlement Precinct. These areas are also all subject to significant natural hazards and the provisions in the natural hazards chapter are very relevant for activities in this Precinct.

SETZ - PREC 4 - Rural Residential Precinct is located over areas on the edge of settlements and towns where larger lots - 4000m² are provided for a more rural residential lifestyle. These areas sit on an interface with the GRUZ - General Rural Zone or RLZ - Rural Lifestyle Zone and avoiding reverse sensitivity for rural uses is often as important as managing the amenity for residents within the Precinct. Alongside residential uses, some sorts of rural activities such as small-scale horticulture or market gardening, or grazing of animals may occur in this Precinct, reflecting its more rural character. The Precinct is also characterised by more rural infrastructure with an absence of footpaths, streetlights and kerb and channel in these areas.

Other relevant Te Tai o Poutini Plan provisions

It is important to note that in addition to the provisions in this chapter, a number of Part 2: District-wide Matters chapters also contain provisions that may be relevant for activities in the SETZ - Settlement Zone, including:

- **Sites and Areas of Significance to Māori, Historic Heritage and Notable Tree Chapters** - there may be sites and areas of significance to Māori, historic heritage or notable trees identified on individual sites within the Settlement Zone. Specific information on the provisions that apply to these can be found in the Sites and Areas of Significance to Māori, Historic Heritage and Notable Tree Chapters.
- **Natural Hazards** - natural hazards are widespread on Te Tai o Poutini/ The West Coast and in some locations natural hazard overlays may affect areas in the Settlement Zone. Information on natural hazard overlays and provisions can be found in the Natural Hazards Chapter.
- **Natural Character and Margins of Waterbodies** - in some locations areas of Settlement Zone may extend into the riparian margins of waterbodies. The Natural Character and Margins of Waterbodies Chapter contains provisions on how these areas must be managed.
- **Ecosystems and Indigenous Biodiversity** - where indigenous vegetation clearance is proposed within a Settlement Zone, the provisions of the Ecosystems and Indigenous Biodiversity chapter apply.
- **General District Wide Matters** - provisions in relation to Earthworks in particular may be relevant to many activities.
- **Subdivision** - The Subdivision Chapter sets out the requirements for subdivision activities the SETZ - Settlement Rural Zone.
- **Financial Contributions** - The Financial Contributions Chapter sets out the requirements for contributions of costs for activities which impact on the local network utility operators.

Relationship with Other Plans

Many activities that occur in rural areas are also regulated by the West Coast Regional Council through Regional Plans, including the Regional Land and Water Plan, Regional Air Plan and Regional Coastal Plan. When planning to undertake an activity, the status under the relevant Regional Plans should also be confirmed and any necessary resource consents applied for under both Plans.

Note with Regard to Commercial Forestry

There are no specific provisions as relate to commercial forestry within the RURZ - Rural Zone Chapters. This is because commercial forestry is principally regulated by the Resource Management (National Environmental Standards for Commercial Forestry) Regulations 2017. Exceptions to this occur in the Overlay Chapters and where forestry activities are proposed, these chapters must be considered.

Rules

Note: There may be a number of Plan provisions that apply to an activity, building, structure and site. In some cases, consent may be required under rules in this Chapter as well as rules in other Chapters in the Plan. In those cases, unless otherwise specifically stated in a rule, consent is required under each of those identified rules. Details of the steps Plan users should take to determine the status of an activity are provided in General Approach.

Permitted Activities

SETZ - R1

Residential Activities and Residential Buildings - Density

Activity Status Permitted

Where:

1. Residential unit density is no more than:
 - i. 1 unit per site where these were lawfully established under the previous District Plans; otherwise
 - ii. 1 unit per 500m² net site area in areas fully serviced by a network utility operator with wastewater, water supply and stormwater systems; or
 - iii. 1 unit per 1000m² net site area in areas where there is on-site servicing of wastewater, water supply and stormwater systems; except
 - iv. In the SETZ - PREC4 - Rural Residential Precinct residential unit density is 1 unit per 4000m² net site area;
2. Where the settlement is serviced by a network utility operator for wastewater, water supply or stormwater, and provided there is capacity, all residential units and buildings used for a residential activity must be connected to the community wastewater, water supply and stormwater infrastructure;
3. Where the settlement is not serviced by a network utility operator for wastewater, water supply or stormwater on-site collection, treatment and

Activity status where

compliance not achieved:
Discretionary

disposal must be undertaken in accordance with NZS4404:2010 Land Development and Subdivision Infrastructure or the relevant Council Engineering Technical Standards.

SETZ - R2

Buildings and Sites - Design

Activity Status Permitted

Where:

1. The maximum height above ground level for buildings is:
 - i. 10m for residential buildings and Emergency Service Facilities and 7m for accessory buildings; except
 - ii. No building, structure or tree shall protrude into the Airport Approach Path of any airport or aerodrome identified on the planning maps and as described in Appendix Nine;
 - iii. 7m for buildings in the SETZ - PREC3 - Coastal Settlement Precinct; and
 - iv. 12m for buildings in the SETZ - PREC2 - Settlement Centre Precinct in the Grey and Westland Districts and 10m in the Buller District;
2. The maximum site coverage is:
 - i. 40%; except
 - ii. Maximum site coverage is 60% in the SETZ - PREC2 - Settlement Centre Precinct
3. The maximum gross ground floor area of any one building
 - i. Is 350m²; except
 - ii. In the SETZ - PREC3 - Coastal Settlement Precinct the gross ground floor area is a maximum of 200m² total for all buildings on the site.
4. Buildings are setback from boundaries as follows:
 - i. 5m from the road and any GRUZ - General Rural or INZ Industrial Zone boundary, 1.5m from the rail designation, and 1m from internal boundaries; except
 - ii. In the SETZ - PREC4 - Rural Residential Precinct all buildings are setback 10m from road boundaries, residential buildings are setback 10m from the internal boundaries and non-residential buildings and accessory buildings are setback 5m from internal boundaries;
 - iii. In the SETZ - PREC2 - Settlement Centre Precinct no setback from the road boundary is required where there is a verandah provided over an adjacent footpath; and
 - iv. No building housing sensitive activities shall be located within 150m of a designated community wastewater treatment facility site boundary or a designated landfill site boundary.
5. In the Kumara Junction Developments area and Moana North Development area:
 - i. A minimum 5m wide buffer strip of indigenous vegetation is to be retained on all boundaries. Native species will be retained or planted to ensure that, at maturity, buildings will be screened from the road and neighbouring allotments;
 - ii. A maximum of 2000m² indigenous vegetation in total is allowed to be cleared from each site; and
 - iii. Development will be in accordance with the Outline Plan set out in the Development Areas section of the Plan;
 - iv. In the Moana North Development area:
 - a. Where indigenous tree species with a diameter of greater than 20cm at breast height are removed, these are replaced in accordance with a Landscape Plan to be developed for the area;
 - b. No residential or ancillary buildings are to occur within the "No Build" areas identified in the Moana North Development Area Outline Plan in the Development Areas section of the Plan;

Activity status where

compliance not achieved:

Discretionary where standards 1-4 are not complied with.

Restricted Discretionary where standards 5-8 are not complied with.

6. No building shall project beyond a building envelope defined by a recession plane as defined in Appendix Two to commence 2.5m above any site boundary. This standard does not apply to boundaries adjoining any site in a CMUZ - Commercial and Mixed Use, INZ - Industrial or GRUZ General Rural Zone; 7. Vehicle crossing standards in Rule TRN - R1 are met; and 8. Provision shall be made for sufficient water supply and access to water supplies for firefighting in accordance with the New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNZ PAS:4509:2008). Advice Notes: 1. In relation to indigenous vegetation clearance in Kumara Junction developments and Standard 5. it should be noted that indigenous vegetation clearance provisions in the Ecosystems and Biodiversity Chapter also apply; 2. Where a residential building or noise sensitive activity is located within: i. The Road Noise Overlay; or ii. 100m of a Railway Line; or iii. Between the 55dBL_{AFMAX} and 60dBL_{AFMAX} contours of the Westport Rifle Range Noise Overlay; or iv. The 50 dBA Noise Contour boundary of Franz Josef Heliport; or v. The 55 dBA Noise Contour boundary of the Westport or Hokitika Airports, Haast Airfield or Greymouth or Karamea Aerodrome. Then the acoustic insulation requirements set out in Rule NOISE - R3 will apply. 3. Where boundary setbacks are infringed, the Deemed Permitted Activity Boundaries process will apply where the neighbouring property owner's written approval is provided to the relevant district council. 4. The New Zealand Fire Service Firefighting Water Supplies Code of Practice PAS:4509:2008 should be consulted when determining the most appropriate design for firefighting water supply. Fire and Emergency New Zealand is available to assist with this.	
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SETZ - R3	Building Design in the Coastal Settlement Precinct	
Activity Status Permitted Where: - All standards for Rule SETZ - R1 and R2 are complied with; - New buildings are no more than 150m² in ground floor area and additions to existing buildings add up to no more than 50m² ground floor area.		Activity status where compliance not achieved: Restricted Discretionary
SETZ - R4	Papakāinga Developments	
Activity Status Permitted Where: - All standards for Rule SETZ - R2 are complied with; - Where developments are in the SETZ - PREC3 - Coastal Settlement Precinct all standards for Rule SETZ - R3 are complied with however units are able to be clustered; - In areas not serviced by reticulated wastewater, stormwater and water supply: i. The average residential building density is no more than one unit per 1000m² net site area, although units can be clustered; and ii. On-site wastewater, water supply and stormwater systems are developed to serve the entire papakāinga. - In areas fully serviced by a network utility operator with wastewater, water supply and stormwater systems the average residential building density is no more than one unit per 500m² net site area; and - Provision shall be made for sufficient water supply and access to water supplies for firefighting in accordance with the New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNA PAS:		Activity status where compliance not achieved: Discretionary

4509:2008).

Advice Notes:

1. Where a residential building or noise sensitive activity is located within:
 - i. The Road Noise Overlay; or
 - ii. 100m of a Railway Line; or
 - iii. Between the 55dBL_{AFMAX} and 60dBL_{AFMAX} contours of the Westport Rifle Range Noise Overlay; or
 - iv. The 50 dBA Noise Contour boundary of Franz Josef Heliport; or
 - v. The 55 dBA Noise Contour boundary of the Westport or Hokitika Airports or Greymouth or Karamea Aerodrome.

Then the acoustic insulation requirements set out in Rule NOISE - R3 will apply.

2. The New Zealand Fire Service Firefighting Water Supplies Code of Practice PAS: 4509:2008 should be consulted when determining the most appropriate design for firefighting water supply. Fire and Emergency New Zealand is available to assist with this.

SETZ - R5

Agricultural, Horticultural and Pastoral Activities, Recreational Activities and Conservation Activities

Activity Status Permitted

Where:

1. All standards for Rule SETZ - R2 and in the SETZ - PREC3 - Coastal Settlement Precinct Rule SETZ - R3 are complied with;
2. The activity does not include:
 - i. Intensive indoor primary production;
 - ii. The storage and disposal of solid or liquid animal waste not generated on the site;
 - iii. Woodlots;
 - iv. Stock sale yards; or
 - v. Farm quarries
3. Performance standards for poultry farming and pig keeping apply as follows:
 - i. Shelters and buildings used to house or feed poultry or more than 3 pigs must be setback at least 30m from any internal boundary;
4. Performance standards for beekeeping in the Westland District apply as follows:
 - i. No bees may be kept on a property less than 600m² net site area;
 - ii. Beehives must be placed with an obstruction in front of them or be elevated to ensure all bees are able to be 2.5m above ground level prior to crossing the site boundary; and
 - iii. A water source for bees must be provided and maintained on the property.

Advice Note:

If land is used for disposal of effluent or solid waste then there may be rules in the Regional Air Plan and Regional Land and Water Plan administered by West Coast Regional Council that apply.

Activity status where

compliance not achieved:

Discretionary

SETZ - R6

Minor Structures

Activity Status Permitted

Where:

1. Structures are set back:
 - i. 5m from the road and any GRUZ - General Rural or INZ Industrial Zone boundary and 1m from internal boundaries; except
 - ii. In the SETZ - PREC4 - Rural Residential Precinct all buildings are setback 10m from the road boundaries, residential buildings are setback 10m from the internal boundaries and non-residential buildings and accessory buildings are setback 5m from internal boundaries;
 - iii. In the SETZ - PREC2 - Settlement Centre Precinct no setback from the road boundary is required where there is a verandah

Activity status where

compliance not achieved:

Controlled

provided over an adjacent footpath. 2. Masts, poles, aerials and pou whenua must not exceed 7m in height; 3. Any antenna dish must be less than 1m in diameter; 4. Any ornamental or garden structure must not exceed 2.4 m in height; 5. Any other structure must not exceed 10m ² and 2m in height.		
SETZ - R7	Fences, Walls and Retaining Walls	
Activity Status Permitted Where: 1. Fences, walls and retaining walls are a maximum 2m height above ground level; and 2. The fence, wall or retaining wall is not used for advertising or any other purpose other than a fence, retaining wall or wall.		Activity status where compliance not achieved: Restricted Discretionary
SETZ - R8	Relocated Buildings	
Activity Status Permitted Where: 1. All standards for Rule SETZ - R1 and R2 and in the SETZ - PREC3 - Coastal Settlement Precinct Rule SETZ - R3 are complied with; 2. Any relocated building intended for use as a dwelling must have been designed and used as a dwelling; 3. A building pre-inspection report in accordance with Appendix Eleven shall accompany the application for a building consent for the destination site. That report is to identify all reinstatement works that are to be completed to the exterior of the building. The report shall include a certification by the property owner that the exterior reinstatement works including connections to infrastructure services and closing in and ventilation of the foundations shall be completed within 12 months of the building being delivered to the site; and 4. The building shall be located on permanent foundations approved by building consent no later than 2 months of the building being moved to the site.		Activity status where compliance not achieved: Controlled
SETZ - R9	Home Business	
Activity Status Permitted Where: 1. All standards for Rule SETZ - R1 and R2 and in the SETZ - PREC3 - Coastal Settlement Precinct Rule SETZ - R3 are complied with; 2. There is no limit to hours of operation in the SETZ - PREC2 - Settlement Centre Precinct; 3. Outside of the SETZ - PREC2 - Settlement Centre Precinct, hours of operation are limited to: i. 7am-10pm weekdays and 8am - 8pm weekends and public holidays; ii. Except where: a. The entire activity is located within a building; b. Each person engaged in the activity outside the above hours resides permanently on site; and c. There are no visitors, customers or deliveries to the activity outside of the above hours. 4. Outside of the SETZ - PREC2 - Settlement Centre Precinct, there is no more than one full time equivalent person engaged in the home business that resides off site; 5. No external storage of products except those associated with residential use shall be visible from any SETZ - Settlement Zoned property or adjoining public place; 6. No external generation of dust, odour or smoke occurs as part of the activity.		Activity status where compliance not achieved: Discretionary
SETZ - R10	Residential Visitor Accommodation	

Activity Status Permitted Where: 1. This is ancillary to a residential or conservation activity; 2. All standards for Rule SETZ - R1 and R2 and in the SETZ - PREC3 - Coastal Settlement Precinct Rule SETZ - R3 are complied with; 3. There is a maximum of 6 paying guests at any one time; 4. Written notification to the District Council is required 10 working days prior to the activity commencing; 5. Records of letting activity must be kept and provided to the Council annually; 6. No heavy vehicle movements are generated; and 7. In the Buller and Westland Districts the accommodation is homestay accommodation with a permanent resident living on site. Advice Notes: 1. Compliance with the Building Code is required for any use of residential property for visitor accommodation. Written notice to the relevant Council Building Compliance Team must be provided and a Building Consent may also be required. 2. Where residential visitor accommodation has been lawfully established under the Buller, Grey or Westland District Plan provisions, then existing use rights may apply. 3. This rule does not apply to Residential Visitor Accommodation in the Settlement Centre Precinct - refer to Rule SETZ - R11.	Activity status where compliance not achieved: Restricted Discretionary
SETZ - R11	Visitor Accommodation in the Settlement Centre Precinct
Activity Status Permitted Where: 1. All performance standards for Rule SETZ -R2 are complied with. Advice Notes: 1. All types of visitor accommodation are Permitted in the SETZ - PREC2- Settlement Centre Precinct including homestay, hosted short-term residential accommodation, hotels, motels, boarding houses and backpackers. 2. Where visitor accommodation is located within: i. The Road Noise Overlay; or ii. 100m of a Railway Line; or iii. Between the 55dBL_{AFMAX} and 60dBL_{AFMAX} contours of the Westport Rifle Range Noise Overlay; or iv. The 50 dBA Noise Contour boundary of Franz Josef Heliport; or v. The 55 dBA Noise Contour boundary of the Westport or Hokitika Airports, Haast Airfield or Greymouth or Karamea Aerodrome. Then the acoustic insulation requirements set out in Rule NOISE - R3 will apply.	Activity status where compliance not achieved: Discretionary
SETZ - R12	Community Facilities, Educational Facilities, Emergency Service Facilities and Retirement Homes
Activity Status Permitted Where: 1. All performance standards for Rule SETZ -R2 are complied with except that hose drying towers are exempt from height standards in all areas other than the Coastal Settlement Precinct; 2. A maximum of 10 heavy vehicle movements and the greater of 30 light vehicle movements per day or 210 light vehicle movements per week are generated and compliance is achieved with TRN - R6; except: i. No vehicle movement limit applies to: a. Emergency Service Facilities; b. Community halls or Educational Facilities lawfully established at the time of notification of the Plan; or c. Activities within the SETZ - PREC2 Settlement Centre Precinct;	Activity status where compliance not achieved: Restricted Discretionary

3. No external storage of products except those associated with residential use shall be visible from any Settlement zoned property or adjoining public place; and 4. Where the facility will be located within the Westport Radio Mast EM Overlay any hose drying or siren tower of a height of 18m or greater must be certified by Radio New Zealand that the risk of Electromagnetic coupling with this structure has been mitigated. Advice Note: Where a noise sensitive activity is located within: i. The Road Noise Overlay; or ii. 100m of a Railway Line; or iii. Between the 55dBL_{AFMAX} and 60dBL_{AFMAX} contours of the Westport Rifle Range Noise Overlay; or iv. The 50 dBA Noise Contour boundary of Franz Josef Heliport; or v. The 55 dBA Noise Contour boundary of the Westport or Hokitika Airports, Haast Airfield or Greymouth or Karamea Aerodrome. Then the acoustic insulation requirements set out in Rule NOISE - R3 will apply.	
SETZ - R13	Retail Activities
Activity Status Permitted Where: 1. Performance standards for Rule SETZ - R2 are complied with; 2. Where the activity is located outside of a SETZ - PREC2 - Settlement Centre Precinct, there is no SETZ - PREC2 - Settlement Centre Precinct or CMUZ Commercial or MUZ - Mixed Use Zone within 10km of the site; 3. The activity does not include: i. Service stations; ii. Car sales; iii. Yard-based retail; and iv. Drive through restaurants. 4. Outside of the SETZ - PREC2 - Settlement Centre Precinct, hours of operation are limited to 7am-10pm weekdays and 8am - 8pm weekends and public holidays; 5. Outside of the SETZ - PREC2 - Settlement Centre Precinct there are a maximum of 10 heavy vehicle movements per day and whichever is the greater of 30 light vehicle movements per day or 210 light vehicle movements per week generated by the activity and compliance is achieved with TRN - R6; 6. No external storage of products except those associated with residential use shall be visible from any Settlement zoned property or adjoining public place; and 7. Vehicle crossings and access meet the design standards as set out in Appendix One Transport Performance Standards;	Activity status where compliance not achieved: Discretionary
SETZ - R14	Commercial Activities other than Retail, Home Business or Visitor Accommodation
Activity Status Permitted Where: 1. The activity does not occur in the SETZ - PREC3 - Coastal Settlement Precinct or the SETZ - PREC4 - Rural Residential Precinct; 2. Performance standards for Rule SETZ - R2 are complied with; 3. Outside of the SETZ - PREC2 - Settlement Centre Precinct, hours of operation are limited to: 7am-10pm weekdays and 8am - 8pm weekends and public holidays; 4. Outside of the SETZ - PREC2 Settlement Centre Precinct, a maximum of 10 heavy vehicle movements per day and whichever is the greater of 30 light vehicle movements per day or 210 light vehicle movements per week and compliance is achieved with TRN - R6;	Activity status where compliance not achieved: Discretionary

5. No external storage of products except those associated with residential use shall be visible from any Settlement zoned property or public place; and 6. Vehicle crossings and access meet the design standards as set out in Appendix One Transport Performance Standards. Advice Note: Where a noise sensitive activity is located within: i. The Road Noise Overlay; or ii. 100m of a Railway Line; or iii. Between the 55dBL_{AFMAX} and 60dBL_{AFMAX} contours of the Westport Rifle Range Noise Overlay; or iv. The 50 dBA Noise Contour boundary of Franz Josef Heliport; or v. The 55 dBA Noise Contour boundary of the Westport or Hokitika Airports, Haast Airfield or Greymouth or Karamea Aerodrome. Then the acoustic insulation requirements set out in Rule NOISE - R3 will apply.	
SETZ - R15	Mineral Prospecting and Mineral Exploration
Activity Status Permitted Where: 1. Written notice is provided to the relevant District Council 10 working days prior any Mineral Prospecting and Mineral Exploration commencing; 2. Any earthworks associated with mineral prospecting or mineral exploration are more than 20m from a site boundary; 3. The site is progressively rehabilitated as far as is practicable to its original condition, with rehabilitation to be completed no later than three after Mineral Prospecting or Mineral Exploration ceases; and 4. No more than 5,000m³ of earthworks is undertaken in a calendar year per site. Advice Notes: 1. Where an activity subject to this rule is located within an Overlay Chapter area then compliance with the relevant Overlay Chapter rules is required. 2. Mineral Prospecting and Mineral Exploration within the Pounamu and Aotea Overlays is subject to Rule SASM - R7. 3. The activity may require a resource consent from the West Coast Regional Council. In particular there are restrictions in relation to earthworks within 100m of a wetland and work which may affect waterbodies. 4. Any vegetation clearance associated with mining activities is subject to the rules in the Ecosystems and Indigenous Biodiversity Chapter.	Activity status where compliance not achieved: Discretionary
SETZ - R16	Port Activities at Jackson Bay Port
Activity Status Permitted Where: 1. These are undertaken on lots fronting The Esplanade as follows: i. On legal road reserve between Mean High Water Springs and the edge of the road carriageway; ii. On the following lots: a. Sections 208 and 209 TN OF Arawata; and b. Sections 8, 9 and 10 TN of Arawata; 2. Permitted Port Activities are limited to the following: i. Cargo handling, including the loading, unloading, storage, processing and transit of cargo (including fish); ii. Passenger handling, including the loading, unloading and transit of passengers including passenger or cruise ship terminals; iii. Port administration; iv. Facilities for recreational boating; v. Activities associated with maritime navigation; and	Activity status where compliance not achieved: Discretionary

vi. Ancillary buildings, structures, utilities, signs, parking, landscaping, offices and other facilities. 3. Maximum building size is 200m²; 4. Maximum building height is 5m; 5. Buildings must be setback 1m from the road and internal boundaries; and 6. No building shall project beyond a building envelope defined by a recession plane as defined in Appendix Two to commence 2.5m above any site boundary. except where the neighbouring property owner's written approval is provided to the Council at least 10 working days prior to the works commencing. This standard does not apply to boundaries adjoining any site in a CMUZ - Commercial and Mixed Use, INZ - Industrial or GRUZ General Rural Zone. Advice Note: Where boundary setbacks are infringed, the Deemed Permitted Activity Boundaries process will apply where the neighbouring property owner's written approval is provided to the relevant district council.		
Controlled Activities		
SETZ - R17	Minor Structures not meeting Permitted Activity Standards	
Activity Status Controlled Where: 1. This is not located in the SETZ - PREC3 - Coastal Settlement Precinct; 2. The minor structure does not exceed 10m in height; and 3. All performance standards other than height for Rule SETZ - R2 are complied with. Matters of control are: a. Design and location of structures; and b. Measures to mitigate landscape effects.		Activity status where compliance not achieved: Discretionary
SETZ - R18	Relocated Buildings not meeting Permitted Activity Standards	
Activity Status Controlled Where: 1. This is not located in the SETZ - PREC3 - Coastal Settlement Precinct; and 2. All performance standards Rule SETZ - R2 are complied with. Matters of control are: a. Design and location of structures; b. Any requirement for financial contributions; c. Measures to mitigate landscape effects; and d. Appearance of buildings.		Activity status where compliance not achieved: Discretionary
Restricted Discretionary Activities		
SETZ - R19	Residential Buildings not meeting Building and Sites - Design Standards in Rule SETZ - R2	
Activity Status Restricted Discretionary Where: 1. The building projects into the 45 degree recession plane; or 2. The building is set back less than 1m from internal boundaries or 10m from internal boundaries in the Rural Residential Precinct; and 3. All other performance standards for Rule SETZ - R2 are complied with. Discretion is restricted to: a. Design and location of buildings; b. Size and height of buildings; c. Any requirement for financial contributions; d. Design and location of parking and access; e. Measures to mitigate landscape effects; f. Shading and loss of sunlight to adjoining sites; g. Loss of privacy to adjoining sites; and		Activity status where compliance not achieved: Discretionary

h. Character and amenity of the surrounding area.	
SETZ - R20	Buildings in the SETZ - PREC2 - Coastal Settlement Precinct not meeting Building Design Requirements in SETZ - R3
Activity Status Restricted Discretionary Where: 1. All performance standards for Rule SETZ - R1 - and R2 are complied with. Discretion is restricted to: a. Design, size, height and location of buildings; b. Design, size and location of parking and access; c. Any requirement for financial contributions; d. Retention of existing vegetation; e. Volume and location of earthworks; f. Measures to mitigate landscape effects; g. Shading and loss of sunlight to adjoining sites; h. Loss of privacy to adjoining sites; and i. Character and amenity of the surrounding area.	Activity status where compliance not achieved: Discretionary
SETZ - R21	Residential Visitor Accommodation not meeting Rule SETZ - R10
Activity Status Restricted Discretionary Where: 1. All performance standards for Rule SETZ - R1 - and R2 are complied with. Discretion is restricted to: a. Number of visitors staying on site; b. Number of days of use for the visitor accommodation; c. Management of traffic and parking; d. Measures to mitigate landscape effects; e. Any impacts on the production values of the surrounding land; f. Any requirement for financial contributions; g. Effects on amenity and character; h. Methods of wastewater treatment and disposal; and i. Loss of privacy to adjoining sites.	Activity status where compliance not achieved: Discretionary
SETZ - R22	Community Facilities, Educational Facilities, Emergency Service Facilities and Retirement Homes not meeting Permitted Activity Standards
Activity Status Restricted Discretionary Discretion is restricted to: a. Design and location of buildings; b. Size and height of buildings; c. Vehicle movements and access; d. Design and location of parking and access; e. Measures to mitigate landscape effects; f. Any requirement for financial contributions; g. Methods of water supply, wastewater and stormwater treatment and disposal; h. Hours of operation; i. Acoustic and noise management requirements; and j. Loss of privacy to adjoining sites; k. Character and amenity of the surrounding area; and l. Within the Westport Radio Mast EM Overlay, any requirements to mitigate the risk of electromagnetic coupling, including during the construction phase.	Activity status where compliance not achieved: N/A
SETZ - R23	Rural Industry
Activity Status Restricted Discretionary Where: 1. This is not in the SETZ - PREC3- Coastal Settlement Precinct;	Activity status where compliance not achieved: Discretionary

2. There is no INZ - Industrial Zoned site of sufficient size to accommodate the activity within 10km of the proposed site; and 3. All performance standards for Rule SETZ - R2 are complied with. Discretion is restricted to: - Design and location of buildings; - Design and location of parking and access; - Measures to mitigate landscape effects; - Hours of operation; - Vehicle movements; - Any requirement for financial contributions; - Methods of water supply, wastewater and stormwater treatment and disposal; - Management of odour, noise, light and dust; and - Acoustic and noise management requirements.		
SETZ - R24	Fences, Walls and Retaining Walls not meeting Permitted Activity standards	
Activity Status Restricted Discretionary Discretion is restricted to: - Design and location of structures; - Height of structures; and - Shading and dominance effects on adjoining sites.		Activity status where compliance not achieved: N/A
Discretionary Activities		
SETZ - R25	Mineral Prospecting and Exploration not meeting Permitted Activity Standards and Mineral Extraction Activities	
Activity Status Discretionary		Activity status where compliance not achieved: N/A
SETZ - R26	Residential Activities and Residential Buildings, Buildings and Sites - Design, Conservation, Recreational, Agricultural, Horticultural and Pastoral Activities, Papakāinga Developments , Minor Structures, Relocated Buildings and Buildings not meeting Permitted or Restricted Discretionary Activity Rules in relation to Performance Standards in Rules SETZ - R1 or SETZ - R2 or SETZ - R4	
Activity Status Discretionary		Activity status where compliance not achieved: N/A
SETZ -R27	All Activities and Buildings, Papakāinga, Minor Structures and Port Activities at Jackson Bay Port in the Coastal Settlement Precinct not meeting Permitted, Controlled or Restricted Discretionary Activity Rules	
Activity Status Discretionary Where: 1. This is not Industrial Activity subject to Rule SETZ - R29.		Activity status where compliance not achieved: Non-complying
SETZ -R28	Home Business, Retail Activities, Commercial Activities and Residential Visitor Accommodation not meeting Permitted, Controlled or Restricted Discretionary Activity Rules	
Activity Status Discretionary		Activity status where compliance not achieved: N/A
SETZ -R29	Industrial Activities not meeting Rule SETZ - R23	
Activity Status Discretionary Where: 1. This is not located in the SETZ - PREC3 - Coastal Settlement Precinct; 2. There is no INZ - Industrial Zoned site of suitable size to accommodate		Activity status where compliance not achieved: Non-complying

the activity within 10km of the proposed site.	
SETZ - R30	Any activity not provided for by another Rule in the zone
Activity Status Discretionary	Activity status where compliance not achieved: N/A
Non-complying Activities	
SETZ - R31	Industrial Activities not meeting SETZ - R29
Activity Status Non-complying	Activity status where compliance not achieved: N/A

This section has rules that are subject to appeal.

PROVISIONS SOUGHT TO BE ADDED BY APPEAL

- **A POLICY THAT GIVES EFFECT TO POLICY 20 OF THE NZCPS**
- **A POLICY THAT PROVIDES FOR NEW AND EXISTING RENEWABLE ELECTRICITY GENERATION ACTIVITIES**
- **REINSTATE CE- R17 FROM THE NOTIFIED PLAN WITH THE SAME TREATMENT FOR THE NATIONAL GRID AS OTHER REGIONALLY SIGNIFICANT INFRASTRUCTURE**

CE

Coastal Environment - Te Taiao o te Takutai

Overview

Te Tai o Poutini/the West Coast Coastline stretches from Kahurangi Point in the north of the Buller District to Awarua Point in South Westland - a distance of more than 500 kilometres. The natural character, landscape and biodiversity values of this coastal environment contribute to the distinctive and unique character of Te Tai o Poutini/the West Coast. The narrow strip of land between the mountains and the sea in Te Tai o Poutini/the West Coast means that most of the community lives on or near the coast - with three of the four major towns and many small settlements being located on or near the coast. In parts of the coastal environment a significant level of development, infrastructure and other activities occur, including where these have a functional or operational need to locate in the coastal environment. Many of these activities are integral components in ensuring resilience, and enabling the social, cultural and economic wellbeing of communities throughout Te Tai o Poutini/the West Coast.

The Buller, Grey and Westland District Councils are responsible for managing activities on land - the landward side of Mean High Water Springs (MHWS) and the West Coast Regional Council is responsible for activities in the Coastal Marine Area - the land seaward of MHWS. Integrated management is needed to manage activities that cross the jurisdictional boundary between the regional and territorial authorities as well as with the Department of Conservation and Poutini Ngāi Tahu.

Approach to managing the coastal environment

Te Tai o Poutini Plan must give effect to the New Zealand Coastal Policy Statement 2010 (NZCPS), which requires a strategic approach to managing development on Te Tai o Poutini/the West Coast. Te Tai o Poutini Plan achieves this by identifying and mapping a Coastal Environment overlay on the planning maps that recognises the landward extent and characteristics of the coastal environment where coastal natural character and coastal processes (including coastal erosion), influences or qualities are significant. This extent was determined with reference to Policy 1 of the New Zealand Coastal Policy Statement (2010). Within this coastal environment areas of High Coastal Natural Character (HCNC), Outstanding Coastal Natural Character (OCNC) and Outstanding Natural Landscapes (ONLs) within the Coastal Environment are also identified and mapped as overlays in the Plan. The NZCPS also requires protection of areas of significant indigenous biodiversity and the avoidance of significant adverse effects on all indigenous biodiversity values in the coastal environment. Provisions for indigenous vegetation and biodiversity management within the coastal environment are located in the Ecosystems and Biodiversity Chapter. Within this coastal environment close collaboration with other bodies and agencies with functions relevant to the coastal environment is required.

Natural Character, Landscape and Natural Features

The preservation of the natural character of the coastal environment and its protection from inappropriate subdivision, use and development is a matter of national importance under the RMA and a requirement of the NZCPS. This chapter contains the overarching objective and policy framework and rules to preserve and protect the natural character of the coastal environment.

Because of the very high natural values associated with the coastal environment in parts of Te Tai o Poutini/the West Coast, Te Tai o Poutini Plan also identifies areas within the coastal environment which are:

- High coastal natural character detailed in Schedule Seven;
- Outstanding coastal natural character detailed in Schedule Eight.

Alongside this there are outstanding natural landscapes in Schedule Five and outstanding natural features in Schedule Six identified in the coastal environment. Areas of outstanding natural character, outstanding natural landscape and outstanding natural features within the coastal environment are known as the Outstanding Coastal Environment Area within the rules. The rules below are grouped into different categories to reflect these different areas within the Coastal Environment.

Coastal Natural Hazards

The NZCPS also requires Te Tai o Poutini Plan to identify coastal natural hazards and to manage subdivision, use and development within areas potentially affected by coastal hazards over a 100 year timeframe, including taking into account the effects of climate change. Because of the complex interaction of natural hazards at the coast - particularly around river mouths, and the overlap with flood hazards, coastal hazard provisions are included within the Natural Hazards Chapter.

Plantation/Commercial Forestry

Plantation forestry is principally regulated by the Resource Management (National Environmental Standard for Commercial Forestry) Regulations 2017 (NES-CF). However the NES-CF allows district plans to be more stringent in relation to any of policies 11, 13, 15, and 22 of the New Zealand Coastal Policy Statement 2010. Policy 13 of the NZCPS relates to the preservation of natural character and therefore more stringent rules can be applied to areas with outstanding and high natural character within the coastal environment. Where provisions within this chapter over-rule the requirements of the NES - CF an advice note to that effect is included within the Rule.

Other relevant Te Tai o Poutini Plan provisions

It is important to note that in addition to the provisions in this chapter and the underlying zone chapter, a number of Part 2: District-Wide Matters chapters also contain provisions that may be relevant for activities within the coastal environment, including:

- **Strategic Direction** — The strategic objectives and policies set out the overarching direction for Te Tai o Poutini Plan.
- **Indigenous Biodiversity** - The objectives, policies and rules in relation to clearance of indigenous vegetation in the coastal environment are located in the ECO - Ecosystems and Indigenous Biodiversity Chapter.
- **Sites and Areas of Significance to Māori** - The coastal environment is of high significance to Poutini Ngāi Tahu, who have kaitiakitanga and rangatiratanga responsibilities in respect of it. Many Statutory Acknowledgement Areas are also within the coastal environment. The Sites and Areas of Significance to Māori Chapter contains objectives, policies and rules relating to the protection of these important cultural areas.
- **Public Access** - The Public Access Chapter contains additional provisions relating to recreational and public access to and along the coastal environment, in particular relevant objectives and policies.
- **Energy, Infrastructure and Transport** — These chapters contain the objectives, policies and rules for managing energy activities, infrastructure and transport. These apply alongside the General District-Wide provisions, including the Coastal Environment provisions within this chapter.

Coastal Environment Objectives	
CE - O1	To preserve the natural character, and protect natural features and landscapes in the coastal environment from inappropriate subdivision, use and development, and protect areas of significant indigenous biodiversity.
CE - O2	To enable people and communities to provide for their social, economic and cultural wellbeing and their health and safety, through appropriate subdivision, use and development.
CE - O3	The relationship of Poutini Ngāi Tahu with their cultural values, traditions, interests and ancestral lands in the coastal environment is recognised and provided for and Poutini Ngāi Tahu are able to exercise tino rangatiratanga and kaitiakitanga.
CE - O4	To provide for activities which have a functional need or operational need to locate in the coastal environment, including regionally significant infrastructure and mineral extraction activities, while ensuring that adverse effects, including cumulative adverse effects, on natural character, landscape, natural features, coastal processes, access, ecosystems and biodiversity values are avoided, remedied or mitigated.

Also the Strategic Objectives and Policies

Coastal Environment Policies

Identification of the Coastal Environment

CE - P1	Identify and map a Coastal Environment overlay that recognises and provides for the extent of the coastal environment and different areas, elements or characteristics within it, including: - Areas where coastal processes, influences or qualities are significant including coastal lakes, lagoons, tidal estuaries, saltmarshes and coastal wetlands and their margins; - Elements and features that contribute to the natural character, landscape, visual qualities or amenity values; - Areas along the coast and river mouths where coastal erosion and coastal inundation is likely, and within the wider coastal environment where there is a potential hazard risk; - Historic heritage and Poutini Ngāi Tahu values; - Islands; - Inter-related coastal marine and terrestrial systems, including the intertidal zone; - Areas of significant coastal vegetation and habitat of indigenous coastal flora and fauna species, including migratory birds; and - The built environment and infrastructure which have modified the coastal environment.
CE - P2	Preserve the natural character, and protect indigenous biodiversity and natural features and landscapes by avoiding significant adverse effects, and avoiding, remedying and mitigating other adverse effects on areas outside of Outstanding Coastal Environment areas, including within areas of high coastal natural character.
CE - P3	Only allow new subdivision, use and development within areas of outstanding coastal natural character, outstanding coastal natural landscapes and outstanding coastal natural features where: - The elements, patterns, processes and qualities that contribute to the outstanding or high natural character or landscape are maintained; - Adverse effects on areas of significant indigenous biodiversity, and Outstanding Coastal Environment Areas are avoided; - The development is of a size, scale and nature that is appropriate to the environment; - It is for: - Poutini Ngāi Tahu activities; or - Māori Purpose Activities within the Māori Purpose Zone; or - Cultural harvest; - It is National Grid infrastructure that has a functional or operational need to locate in these areas; - It has a minor or transitory effect.
CE - P4	Provide for primary production activities within areas of outstanding and high natural character, outstanding natural landscapes and outstanding natural features within the coastal environment where: - These are existing lawfully established activities and associated lawfully established buildings and structures; or - The use protects the elements, patterns or processes that contribute to the outstanding or high natural character values; and - Adverse effects on outstanding natural character, outstanding natural landscapes and outstanding natural features are avoided.
CE - P5	Provide for buildings and structures within the coastal environment outside of areas of outstanding coastal natural character, outstanding natural landscape and outstanding natural features where these: Are existing lawfully established buildings or structures; or

	b. Are in the parts of the coastal environment that have been historically modified by built development, infrastructure and primary production activities; or c. Have a functional need or operational need to locate within the coastal environment; or d. Are new renewable electricity generation activities; e. Are of a size, scale and nature that is appropriate to the area; and f. Ensure that significant adverse effects on amenity, natural character, historic and cultural values, and indigenous biodiversity are appropriately managed.
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CE - P6	Recognise that there are existing settlements and urban areas located within the coastal environment of Te Tai o Poutini/the West Coast including parts of Kawatiri/Westport, Māwhera/Greymouth and Hokitika and enable new subdivision, use and development and expansion of towns and settlements where these activities are located in areas already modified by built development or primary production activities.
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CE - P7	In areas of high natural character: a. Provide for lawfully established land uses and activities to continue; b. Provide for other uses with a functional need or operational need to locate in the coastal environment; c. Allow for Poutini Ngāi Tahu Activities and Māori Purpose Activities; d. Avoid encroachment into unmodified areas of the coastal environment; and e. Ensure subdivision, use and development is of a scale and design where adverse effects on the elements, patterns and processes that contribute to natural character are avoided, remedied or mitigated.
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CE - P8	Enable the maintenance, repair, operation and minor upgrade of the National Grid. Where new development and upgrades of the National Grid are required, seek to avoid and otherwise remedy or mitigate adverse effects on Overlay Chapter areas.
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Coastal Environment Rules	
Note: There may be a number of Plan provisions that apply to an activity, building, structure and site. In some cases, consent may be required under rules in this Chapter as well as rules in other Chapters in the Plan. In those cases, unless otherwise specifically stated in a rule, consent is required under each of those identified rules. Details of the steps Plan users should take to determine the status of an activity are provided in General Approach.	

Permitted Activities	
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CE - R1	Maintenance, repair and minor upgrade of lawfully established structures, network utilities, renewable electricity generation activities, regionally significant infrastructure, fence lines and tracks within the Coastal Environment
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Activity Status Permitted Where: 1. When the maintenance and repair or minor upgrade is within an area of High Coastal Natural Character or the Outstanding Coastal Environment: i. The activity is limited to what is necessary to maintain the existing structure or undertake the minor upgrade, within the footprint or modified ground compromised by the existing structure; and ii. The activity does not involve the installation of any new structures. Advice Notes: 1. Any indigenous vegetation clearance associated with maintenance and repair is subject to the provisions in the Ecosystems and Indigenous Biodiversity Chapter. 2. Works shall not undermine or have an adverse effect on any hazard mitigation/protection measure that exists within the coastal environment. 3. Where activities occur within Scheduled areas included within other Overlay Chapter Areas, then the relevant Overlay Chapter Rules also	Activity status where compliance not achieved: N/A
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apply. 4. Where earthworks are proposed as part of maintenance and repair, refer to the rules in the Earthworks Chapter	
CE - R2	Conservation Activities within the Coastal Environment
Activity Status Permitted Advice Notes: - Any indigenous vegetation clearance associated with conservation activities is subject to the provisions in the Ecosystems and Indigenous Biodiversity Chapter. - Works shall not undermine or have an adverse effect on any hazard mitigation/protection measure that exists within the coastal environment. - Where activities occur within Scheduled areas included within other Overlay Chapter Areas, then the relevant Overlay Chapter Rules also apply.	Activity status where compliance not achieved: N/A
CE - R3	Māori Purpose Activities and Ancillary Buildings in the Coastal Environment
Activity Status Permitted Where: - This is cultural harvest of cultural materials; or - These are: - Poutini Ngāi Tahu activities; or - Māori Purpose Activities undertaken within the Māori Purpose Zone undertaken in accordance with an Iwi/Papatipu Rūnanga Management Plan that includes an assessment of, and mitigation of, impacts on the coastal environment values, including, where relevant, natural character, natural landscape and natural features. Advice Notes: - Any indigenous vegetation clearance associated with Poutini Ngāi Tahu or Māori Purpose Activities is subject to the provisions in the Ecosystems and Indigenous Biodiversity Chapter. - Works shall not undermine or have an adverse effect on any hazard mitigation/protection measure that exists within the coastal environment. - Where activities occur within Scheduled areas included within other Overlay Chapter Areas, then the relevant Overlay Chapter Rules also apply.	Activity status where compliance not achieved: Restricted Discretionary
CE - R4	Buildings and Structures in the Coastal Environment that are outside of the Outstanding Coastal Environment Area
Activity Status Permitted Where: - These are: - Buildings and structures that comply with the rules for buildings and structures within the relevant zone, except that within the GRUZ - General Rural Zone, RLZ - Rural Lifestyle, SETZ - Settlement Zone, OSZ - Open Space Zone and the NOSZ - Natural Open Space Zone: - Maximum height is 7m for new buildings; - No height limits apply where this is replacement of a lawfully established building with another building of the same height, in the same location; and - The gross ground floor area is: - A maximum of 200m² per building for new buildings; - No maximum area where this is the replacement of a lawfully established building with another building of the same ground floor area, in the same location; and - New buildings are set back 25m from Mean High Water	Activity status where compliance not achieved: Outside of the scheduled overlay chapter areas and the RURZ - Rural Zones, OSZ - Open Space Zone and NOSZ - Natural Open Space Zone, the relevant zone rules apply. In the case of Energy Activities and Network Utilities the relevant Energy, Infrastructure or Transport Rules apply. Otherwise Restricted Discretionary

Springs except where these are:

- I. New network utility buildings, where these are located within a legal road reserve; or
- II. Parks facilities or parks furniture within any OSRZ - Open Space and Recreation Zone; or
- ii. Energy Activities or Network Utilities, including ancillary earthworks, that are permitted activities in the Energy, Infrastructure and Transport Chapters of the Plan.

Advice Notes:

1. Refer to the Overlay Chapters and Zone Chapters for other rules in relation to buildings and structures in these areas.
2. For the avoidance of doubt, within the General Rural, Rural Lifestyle, Settlement and Open Space and Recreation Zones, standards i.a, c and d apply to new buildings only, not structures, or any additions to existing buildings.

Permitted Activities within the High Coastal Natural Character Overlay

CE - R5

Buildings and Structures within the High Coastal Natural Character Overlay

Activity Status Permitted

Where:

1. These buildings and structures are required for the maintenance, operation, minor upgrade and repair of network utilities or renewable electricity generation activities; or
2. Within the OSRZ - Open Space and Recreation Zones, this is parks facilities or parks furniture; or
3. Within the Māori Purpose Zone, these are Māori Purpose Activities; or
4. In all other zones:
 - i. Any new residential dwelling on a site where no other dwelling is located is no more than 150m² ground floor area;
 - ii. Any other new building is no more than 100m² ground floor area;
 - iii. Any addition increases the total building footprint by no more than 50m²;
 - iv. The maximum height above ground level is for any building or structure is 7m; and
 - v. New buildings are set back 25m from mean high water springs.

Advice Note:

Refer to the Overlay Chapters and zone chapters for other rules in relation to buildings and structures in these areas.

Activity status where

compliance not achieved:

Restricted Discretionary

CE - R6

Maintenance, Repair and Upgrade of Natural Hazard Mitigation Structures and associated earthworks within the High Coastal Natural Character Overlay

Activity Status Permitted

Where:

1. The structure has been lawfully established;
2. Earthworks and land disturbance is no more than 25m³ per 200m length of coastline in which the structure is located;
3. There is no reduction in public access;
4. Only cleanfill is used where fill materials are part of the structure;
5. There is no change to more than 10% to the overall dimensions, orientation, height or length of the lawfully established structure, and the structure is certified by a suitably qualified professional confirming that the effects of the activity are no greater than the lawfully established structure; and
6. Any upgrade of the structure is undertaken by a Statutory Agency or authorised contractor acting on its behalf.

Advice Notes:

1. The rules in the Earthworks Chapter do not apply to Permitted Activities under Rule CE - R6.

Activity status where

compliance not achieved:

Restricted Discretionary

2. Earthworks are also subject to relevant rules in the Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and Margins of Waterbodies Chapters.
3. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.

CE - R7

Earthworks in the High Coastal Natural Character Overlay

Activity Status Permitted

Where:

1. These are for:
 - i. Operation, maintenance, repair and upgrade of walking/cycling tracks, roads, farm tracks or fences lawfully established;
 - ii. Operation, maintenance, repair, upgrade of network utility infrastructure or renewable electricity generation activities lawfully established; or
 - iii. Installation of new network utility infrastructure located within road reserve;
 - iv. Establishment of a building platform and access to a building site in an approved subdivision or where there is no existing residential building on the site;
 - v. Establishment of buildings permitted by Rule CE - R5; and
2. Any fill, excavation or removal is not more than 250m²/ha and 250m³/ha.

Advice Notes:

1. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.
2. Any earthworks are also subject to relevant rules in the Earthworks, Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and Margins of Waterbodies Chapters.
3. This rule also applies to commercial forestry activities, where this provision is more stringent than the NES - CF.

Activity status where

compliance not achieved:

Restricted Discretionary

Permitted Activities within the Outstanding Coastal Environment Area

CE - R8

Additions to Lawfully Established Buildings and Structures in the Outstanding Coastal Environment Area

Activity Status Permitted

Where:

1. The addition increases the building footprint or footprint of the structure by no more than 50m²;
2. The maximum height of any addition to a building or structures is 5m above ground level or the height of the existing lawfully established building or structure.

Advice Notes:

1. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.
2. Any earthworks are also subject to relevant rules in the Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and the Margins of Waterbodies Chapters.

Activity status where

compliance not achieved:

Discretionary

CE - R9

Maintenance and Repair of Natural Hazard Mitigation Structures within the Outstanding Coastal Environment Area

Activity Status Permitted

Where:

1. The structure has been lawfully established;
2. Earthworks and land disturbance are the minimum required to undertake the activity;
3. There is no reduction in public access;
4. Only cleanfill is used where fill materials are part of the structure;

Activity status where

compliance not achieved:

Restricted Discretionary

5. There is no change to more than 10% to the overall dimensions, orientation, height or length of the lawfully established structure, and the structure is certified by a suitably qualified professional confirming that the effects of the activity are no greater than the lawfully established structure; and
6. The activity is undertaken by a Statutory Agency or their authorised contractor acting on its behalf.

Advice Notes:

1. Earthworks are also subject to relevant rules in the Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and the Margins of Waterbodies Chapters.
2. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.

CE - R10

Erection of Buildings or Structures in the Outstanding Coastal Environment Area

Activity Status Permitted

Where the structure is:

1. A fence; or
2. Associated with stock water reticulation including tanks, pipes and water troughs; or
3. Required for the maintenance, operation, minor upgrade and repair of network utilities or renewable electricity generation activities; or
4. For a network utility customer connections, or environmental monitoring and extreme weather event monitoring; or
5. For agricultural pastoral and horticultural activities or an accessory building; and
 - i. The height of any building or structure does not exceed 5m above ground level; and
 - ii. The gross floor area of any building does not exceed 100m²

Advice Notes:

1. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.
2. Any earthworks are also subject to relevant rules in the Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and Margins of Waterbodies Chapters.

Activity status where

compliance not achieved:
Discretionary

CE - R11

Earthworks in the Outstanding Coastal Environment

Activity Status Permitted

1. Where the earthworks are entirely contained within the existing footprint or modified ground disturbed by a lawfully established activity and these are for:
 - i. Maintenance repair or upgrade of walking/cycling tracks, roads, farm tracks or fences; or
 - ii. Operation, maintenance, repair and upgrade of Regionally Significant Infrastructure, network utility infrastructure or renewable electricity generation activities; and
2. Where the earthworks are for additions to lawfully established buildings or structures provided for in Rule CE - R8 where any fill, excavation or removal of material is not more than 100m² per hectare and 100m³ per hectare.

Advice Notes:

1. Any indigenous vegetation clearance or disturbance is subject to the relevant rules in the Ecosystems and Indigenous Biodiversity Chapter.
2. Any earthworks are also subject to relevant rules in the Earthworks, Historic Heritage, Sites and Areas of Significance to Māori, Notable Trees, and Natural Character and Margins of Waterbodies Chapters.
3. This rule also applies to commercial forestry activities where this provision is more stringent than the NES - CF.

Activity status where

compliance not achieved:
Restricted Discretionary

Restricted Discretionary Activities

CE - R12	Natural Hazard Mitigation Structures and associated Earthworks in High Coastal Natural Character Overlay Area and the Outstanding Coastal Environment Area not meeting Permitted Activity standards	
Activity Status Restricted Discretionary Where: 1. Within the Outstanding Coastal Environment Area, these are only to protect the coastal State Highway, Special Purpose Roads or Regionally Significant Infrastructure. Discretion is restricted to: a. Effects on indigenous vegetation and habitats of indigenous fauna; b. Effects on the threat status of land environments in category one or two of the Threatened Environments Classification; c. Effects on ecological functioning and the life supporting capacity of air, water, soil and ecosystems; d. Effects on the intrinsic values of ecosystems; e. Effects on recreational values of public land; f. Effects on Poutini Ngāi Tahu values, any archaeological sites, historic heritage or any Sites and Areas of Significance to Māori identified in Schedule Three; g. Landscape and visual effects, including design and location of any buildings, structures or earthworks; h. Effects on natural character and natural features; i. Effects on public access to and along the coast; and j. Effects on the level of hazard risk created by the structure on other properties.		Activity status where compliance not achieved: Discretionary
CE - R13	Māori Purpose Activities and Buildings in the Coastal Environment not meeting Permitted Activity Standards	
Activity Status Restricted Discretionary Discretion is restricted to: a. Effects on habitats of any threatened or at risk flora or fauna species; b. Effects on the threat status of land environments in category one or two of the Threatened Environments Classification; c. Effects on ecological functioning and the life supporting capacity of air, water, soil and ecosystems; d. Effects on the intrinsic values of ecosystems; e. Effects on recreational values of public land; f. Effects on Poutini Ngāi Tahu values and any Sites and Areas of Significance to Māori identified in Schedule Three; g. Landscape and visual effects; h. Effects on natural character and natural features; i. Location, dimensions and appearance of any structure; j. Effects on public access to the coast; and k. Effects on any archaeological sites.		Activity status where compliance not achieved: N/A
CE - R14	Buildings and Structures not meeting Rule CE - R4 outside of the Outstanding Coastal Environment Area and High Coastal Natural Character Overlay	
Activity Status Restricted Discretionary Discretion is restricted to: a. Any requirements for landscape evaluation; b. The extent to which the site is visible from a road or public place; c. The effects on the natural character of the coast; d. The effects on Poutini Ngāi Tahu values, any archaeological sites, historic heritage or on any Site and Areas of Significance to Māori identified in Schedule Three; e. The effects on potential or current public access to the coast; f. Design and location of any buildings, structures or earthworks;		Activity status where compliance not achieved: N/A

g. Volume and area of earthworks; h. Area and location of any vegetation clearance; i. Effects on biodiversity values; j. Effects on ecological functioning and the life supporting capacity of air, water, soil and ecosystems; k. Effects on the intrinsic values of ecosystems; l. Measures to mitigate landscape effects; m. The effects on natural landscapes and natural features in the coastal environment; and n. The functional or operational needs of the activity.	
CE - R15	Buildings, Structures and Earthworks within the High Coastal Natural Character Overlay not meeting Permitted Activity Standards
Activity Status Restricted Discretionary Discretion is restricted to: a. Any requirements for landscape evaluation; b. The extent to which the site is visible from a road or public place; c. The effects on the natural character of the coast; d. The effects on landscape and natural features of the coast; e. The effects on potential or existing public access to and along the coast; f. Design and location of any buildings, structure or earthworks; g. Volume and area of earthworks; h. Effects on indigenous vegetation and habitats of indigenous fauna; i. Effects on the ecological functioning and the life supporting capacity of air, water, soil and ecosystems; j. Effects on the intrinsic values of ecosystems; k. Effects on the threat status of land environments in category one or two of the Threatened Environments Classification; l. Effects on recreational values of public land; m. Effects on Poutini Ngāi Tahu values, any archaeological sites, historic heritage and any Sites and Areas of Significance to Māori identified in Schedule Three; n. Landscape and visual effects; o. Location, dimensions and appearance of any structure; and p. The functional need or operational need of the activity Advice Note: This rule also applies to commercial forestry activities where this provision is more stringent than the NES - CF.	Activity status where compliance not achieved: N/A
CE - R16	Earthworks within the Outstanding Coastal Environment Area not meeting Permitted Activity standards
Activity Status Restricted Discretionary Where: 1. These are for: i. Walking/cycling tracks; ii. Roads, farm tracks or fences; iii. Installation of network utility infrastructure or renewable electricity generation activities; or iv. For establishment of a building platform and access to a building site in an approved subdivision or where there is no existing residential building on the site. Discretion is restricted to: a. Any requirements for landscape evaluation; b. The extent to which the site is visible from a road or public place; c. Any effects on the values that make the site Outstanding; d. Effects on indigenous vegetation and habitats of indigenous fauna; e. Effects on ecological functioning and the life supporting capacity of air,	Activity status where compliance not achieved: Discretionary

	water, soil and ecosystems; f. Effects on the intrinsic value of ecosystems; g. Effects on the threat status of land environments in category one or two of the Threatened Environments Classification; h. The effects on Poutini Ngāi Tahu values, any archaeological sites, historic heritage and any Sites and Areas of Significance to Māori identified in Schedule Three; i. Design, location and area of any earthworks; j. Area and location of vegetation clearance; k. Landscape measures to reduce the visual effects on the values of the Outstanding Natural Landscape or Feature; l. Where relevant, matters included within Policy NFL - P6; m. The effects on the natural character of the coastal environment; and n. The effects on natural features and landscapes. Advice Note: This rule also applies to commercial forestry activities where this provision is more stringent than the NES - CF.	
CE - R17	Afforestation with Plantation Forestry in the Coastal Environment outside of High and Outstanding Coastal Natural Character Areas where this requires the clearance of indigenous vegetation beyond the Permitted Activity Standards in Rule ECO — R1	
	Activity Status Restricted Discretionary Discretion is restricted to: a. Any requirements for landscape evaluation; b. The extent to which the site is visible from a road or public place; c. The effects on the natural character of the coast; d. The effects on Poutini Ngāi Tahu values, any archaeological sites, historic heritage or on any Site and Areas of Significance to Māori identified in Schedule Three; e. The effects on potential or current public access to the coast; f. Area and location of any indigenous vegetation clearance; and g. The effects on natural landscapes and natural features of the coastal environment. Advice Notes: 1. When assessing resource consents under this rule, assessment against the relevant Coastal Environment, Ecosystems and Indigenous Biodiversity, Natural Features and Landscapes objectives and policies will be required. 2. This rule also applies to commercial forestry activities where this provision is more stringent than the NES - CF.	Activity status where compliance not achieved: N/A
Discretionary Activities		
CE - R18	Earthworks within the Outstanding Coastal Environment Area not provided for as a Permitted or Restricted Discretionary Activity	
	Activity Status Discretionary Where: 1. These will not destroy any Outstanding Natural Feature identified in Schedule Six or the values which make it Outstanding; except 2. Where a written report of a suitably qualified natural hazards professional identifies that the Outstanding Natural Feature is a severe risk to people or property. Advice Notes: 1. When assessing resource consents for natural hazard mitigation activities under this rule, assessment against the relevant Coastal Environment, Ecosystems and Indigenous Biodiversity, Natural Features and Landscapes objectives and policies will be required.	Activity status where compliance not achieved: Non-complying

2. This rule also applies to commercial forestry activities where this provision is more stringent than the NES - CF. Notification: When making notification decisions in relation to applications to destroy any Outstanding Natural Feature or the Values which make it Outstanding the Council will consult with the Geosciences Society of New Zealand.	
CE - R19	Additions to lawfully established Buildings and New Buildings and Structures and associated Earthworks within the Outstanding Coastal Environment Area not meeting Permitted Activity Standards
Activity Status Discretionary Where: 1. This is an addition to an lawfully established building or a building accessory to a lawfully established building; or 2. The building or structure is identified on an approved subdivision plan for the site or where there is no existing residential building on the site; or 3. The building or structure is required for: i. A network utility or renewable electricity generation activity; ii. An agricultural pastoral or horticultural activity in a RURZ - Rural Zone; iii. A conservation activity; or iv. A recreational activity in any OSZ - Open Space Zone.	Activity status where compliance not achieved: Non-complying
CE - R20	Afforestation with Plantation Forestry in the High Coastal Natural Character Overlay, the Outstanding Coastal Environment Area or any Significant Natural Area
Activity Status Discretionary Advice Notes: 1. When assessing resource consents under this rule, assessment against the relevant Coastal Environment, Ecosystems and Indigenous Biodiversity, Natural Features and Landscapes objectives and policies will be required. 2. This rule applies to plantation forestry activities where this provision is more stringent than the NES - CF.	Activity status where compliance not achieved: N/A
Non-complying Activities	
CE - R21	Activities in the Coastal Environment that would destroy any Outstanding Natural Feature identified in Schedule Six or the values which make it Outstanding
Activity Status Non-complying Notification: When making notification decisions in relation to applications to destroy any Outstanding Natural Feature or the Values which make it Outstanding the Council will consult with the Geosciences Society of New Zealand. Advice Notes: 1. When assessing resource consents for activities under this rule, assessment against both the Coastal Environment, and Natural Features and Landscapes policies will be required. 2. This rule also applies to plantation forestry activities where this provision is more stringent than the NES - PF.	Activity status where compliance not achieved: N/A
CE - R22	Buildings and Structures in the Outstanding Coastal Environment Area not meeting Permitted, Restricted Discretionary or Discretionary Activity Rules
Activity Status Non-complying	Activity status where compliance not achieved:

	N/A
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BULLER DISTRICT COUNCIL**WRITTEN NOTICE OF DEEMED PERMITTED MARGINAL ACTIVITY****RESOURCE MANAGEMENT ACT 1991**

Reference:	180045
Proposed Activity:	Under section 87BB of the Resource Management Act 1991, for a marginal deemed permitted activity, being the alterations to existing dwelling that include an addition of a partially roofed deck within the 5m road reserve boundary setback.
Location:	71 Snodgrass Road Westport
Legal Description:	Section 1 Orowaiti Block III Kawatiri Survey District
Zone:	Residential
Date	14 September 2018

SUMMARY OF NOTICE

1. The Buller District Council has decided that the activity described above can be treated as a permitted activity, under section 87BB of the Resource Management Act 1991 (the **Act**).
2. The application was considered by Carissa du Plessis, Acting Team Leader - Planning.

1.0 Marginal or Temporary Non-Compliance - section 87BB(1)(a)

The proposal is for the siting of a partially roofed deck within the 5 metre setback of an unformed road reserve boundary. The applicant has confirmed that the deck is to be located approximately 2 metres from the unformed road reserve boundary. There is an existing dwelling on site that was damaged during a storm event and the applicants are now undertaking modifications under building consent BC180152. Based on the information provided, it is noted that the building modifications to the existing dwelling complies with the height limit and recession plane requirements of the Buller District Plan.

The activity would be permitted except for the following non-compliance with the Residential Zone Standard:

Table 5.1 Residential Zone Standards

ITEM	PERMITTED	CONTROLLED	DISCRETIONARY
Boundaries	Front Sites 5m setback from road boundaries.	Not applicable for road boundaries.	3.5m setback from road boundaries.

2.0 Assessment of Environmental Effects - section 87BB(1)(b)

Any adverse effects of the activity are considered to be no different in character, intensity or scale than they would be in the absence of the non-compliance outlined in Section 1.0 above.

- The Manager - Utilities and Services has viewed the application and no issues have been raised in relation to the efficient operation of the roading infrastructure by breach to the road boundary setback. The road reserve in question is unformed and is not likely to be formed as it is partially located within the waterway.
- The site has been used for a residential activity for many years and the size of the habitable area is not proposed to increase as a result of the proposed works. Under this application, it is only a partially covered area of deck that breaches the unformed road reserve boundary setback.
- The proposed activity is considered to be no different in character, intensity or scale than if it were a permitted activity.

3.0 Effects on Persons - section 87BB(1)(c)

No persons are considered affected by the proposal.

4.0 Decision

Any adverse effects of the activity are considered to be no different in character, intensity or scale than they would be in the absence of the non-compliance outlined in Section 1.0 above.

Any adverse effects of the activity on persons are considered to be less than minor.

On this basis, Council considers that the proposed activity is deemed to be a permitted marginal activity.

Notes

A Certificate of Compliance (under section 139 of the Act) cannot be applied for in respect of this activity.

This notice is valid only for the activity described above and shown on the plan stamped 'Approved'. If the activity changes, a resource consent may be required.

It is noted that a notice given under subsection 1(d) lapses 5 years after the date of the notice unless the activity permitted by the notice is given effect to.

If you have any enquiries, please contact Carissa du Plessis on phone (03) 788 9665 or email carissa@bdc.govt.nz.



Carissa du Plessis,

ACTING TEAM LEADER - PLANNING

PREMIER
SERVICES
Architectural Design Plus

Sheet Index	
Layout ID	Layout Name
WD01	COVER SHEET
WD02	SITE PLAN
WD03	EXISTING FLOOR PLAN
WD04	ALTERED FLOOR PLAN
WD05	ELEVATIONS
WD06	FOUNDATION PLAN
WD07	FLOOR JOIST LAYOUT
WD08	ENTRY DECK LAYOUT PLANS
WD09	ROOF FRAMING PLAN
WD10	CROSS SECTION A-A & B-B
WD11	CROSS SECTION C-C
WD12	DETAILS
WD13	DETAILS
WD14	DETAILS
WD15	DETAILS
WD16	WINDOW DETAILS

GENERAL NOTES

DIMENSIONS NOTED ON THESE DRAWINGS ARE FROM STRUCTURAL SURFACES UNLESS OTHERWISE INDICATED. ALL DIMENSIONS ARE GIVEN IN MILLIMETERS.

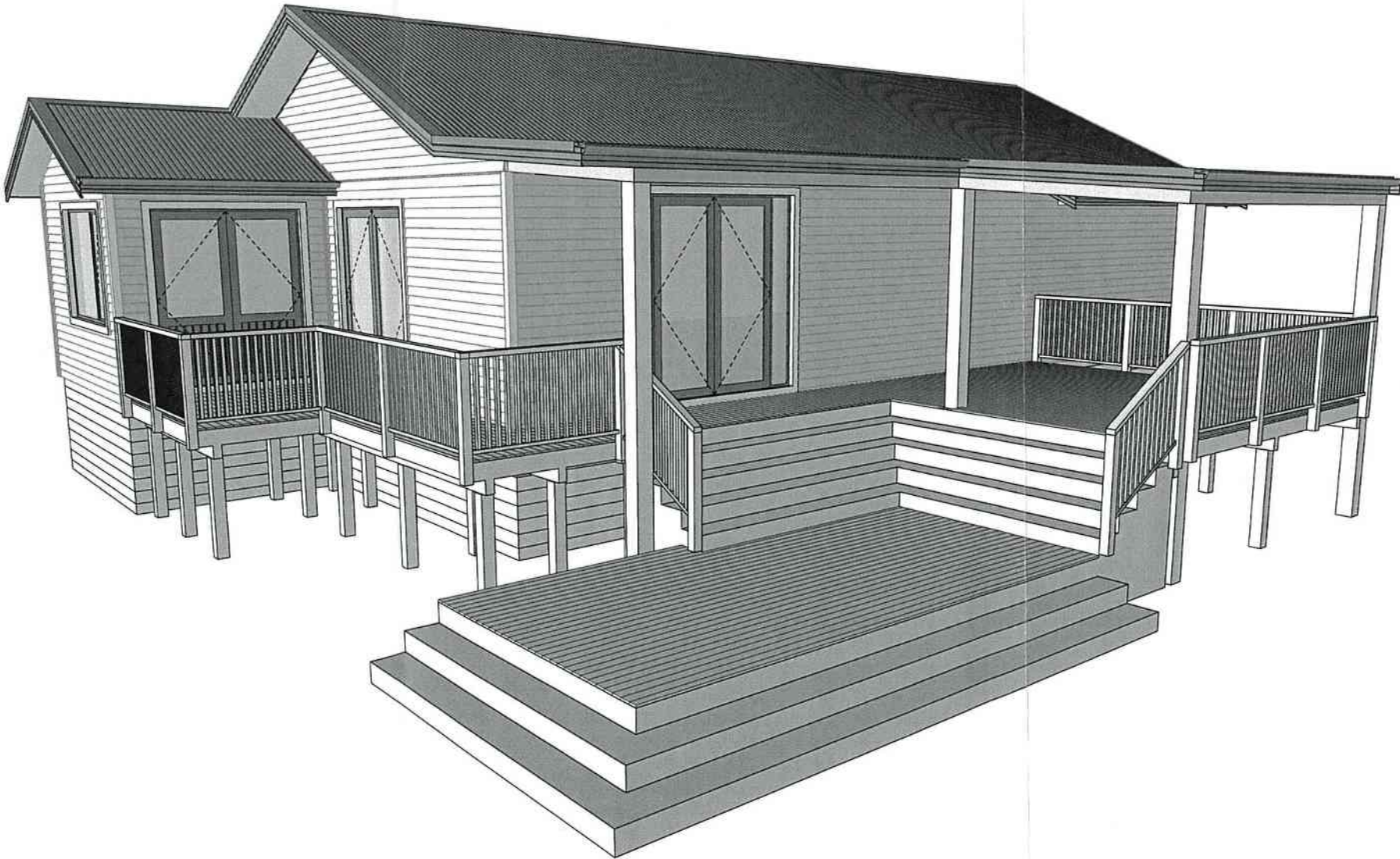
The Contractor is responsible for the correct setting out of the building on site. Boundary pegs are to be located, and setting out points are to be verified on site against information provided prior. All levels/dimensions are to be confirmed onsite before commencing any work and any discrepancies are to be brought to the attention of the Premier Services Limited.

Where available, Engineering drawings are to be read in conjunction with this documentation, any discrepancies to be reported to Premier Services Limited.

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BUILDING CONSENT DRAWINGS

DECK ADDITIONAL TO EXISTING DWELLING
FOR RUTH & PETE GRAHAM
AT 71 SNODGRASS ROAD, WESTPORT



SITE IDENTIFICATION

Legal Description: Sec 1 Orowaiti Blk III Kawatiri SD
TA Zoning: Residential
Topographic Class: T1

Zones

- Wind: High
- Earthquake: 2
- Durability: D
- Snow Loading: 0.0 kPa

Designed to: NZS3604:2011

NOTES

WIND CALCULATION

WIND REGION: A
LEE ZONE: NO
GROUND ROUGHNESS: OPEN
SITE EXPOSURE: EXPOSED
TOPOGRAPHIC CLASS: T1

All levels/dimensions are to be confirmed onsite before commencing any work, this applies to all trades. Do not scale off drawings.

APPROVED PLAN

WD02

BUILDING CONSENT

22/08/2018

1:200

JR

SHEET :
original A3

REVISION :

DATE :

SCALE :

DRAWN :

Job No. 18248

Website | www.premierservices.co.nz

Email | info@premierservices.co.nz

Phone | 03 544 1829

Address | 6 Champion Road, Richmond 7020

PREMIER SERVICES LIMITED

EXISTING DWELLING FLOOR LEVEL TO BE RAISED
VIA SEPARATE CONSENT BY OTHERS. EXACT
FINISHED FLOOR LEVEL TO BE CONFIRMED
ONSITE.

ESTUARY

SITE COVERAGE

EXISTING DWELLING AREA: 128.51m²
EXISTING GARAGE AREA: 96.52m²
AREA OF COVERED DECK EXTENSION: 35.4m²
SITE AREA: 1161m²

BUILDING COVERAGE: 22.457%

All work is to be carried out in full accordance with the NZBC and Territorial Authority requirements as they apply. Any queries and discrepancies must be confirmed with the Designer before beginning any work

70 SNODGRASS
ROAD

BOUNDARY

F.F.L. 20.00
(PRESUMED LEVEL)
EXISTING DWELLING

EXTENT OF NEW DECK

BOUNDARY

SNODGRASS ROAD

RUTH & PETE GRAHAM

CLIENT :

DECK ADDITIONAL TO
EXISTING DWELLING

PROJECT :

71 SNODGRASS ROAD,
WESTPORT

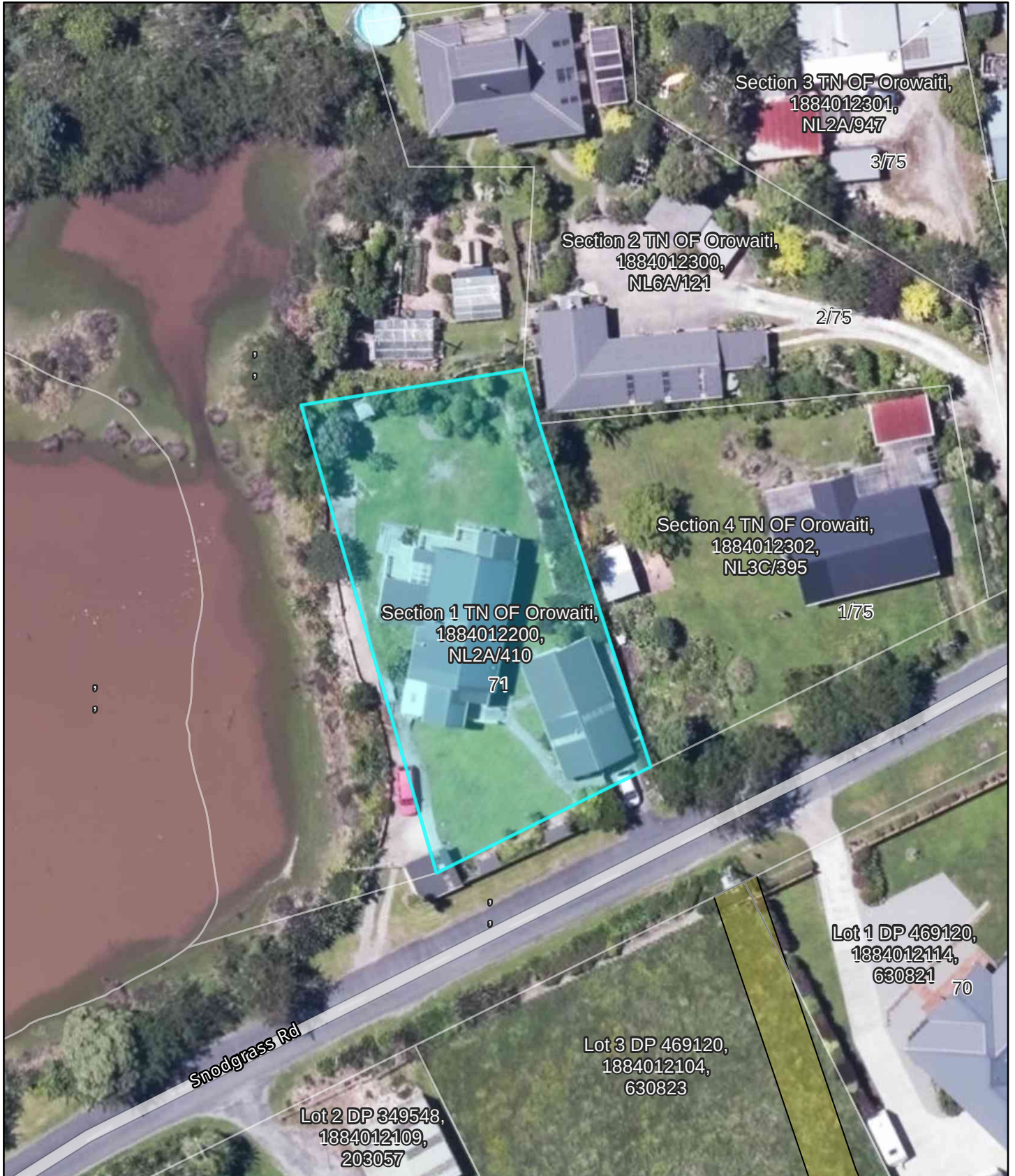
LOCATION :

SITE PLAN

DRAWING :

**PREMIER
SERVICES**
Architectural Design Plus

71 Snodgrass Road, Westport - Aerial Map **Appendix VII**



14/07/2026, 08:09:41

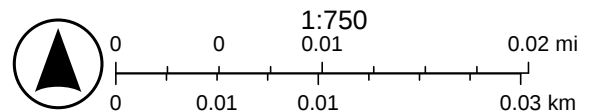
BDC Property Master - Parcel

BDC Property Master - Labels

BDC NonPrimaryParcels

LINZ NZ Addresses

New Zealand Imagery



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