



***** LAND INFORMATION MEMORANDUM *****

LAND INFORMATION MEMORANDUM No:50310
Local Government Official Information & Meetings Act 1987

Issued:30 January 2026

APPLICANT : James ROBINSON
64 Waitete Road
WAIHI 3610

Application received: 20 January 2026

LOCATION OF PROPERTY

Street Address: 64 WAITETE RD, WAIHI 3610
Property ID: 39328
Assessment No: 05020/001.14
Legal: LOT 4 DP 455508

COUNCIL CHARGES

The Council's total charges payable on the uplifting of this application in accordance with the attached details, are: \$0.00

Receipt number: 2677574 Date: 20Jan26 Amount: \$300.00

1:
|-----|
INFORMATION IDENTIFYING SPECIAL FEATURES OR CHARACTERISTICS OF THE LAND

DURABILITY - ZONE B

In relation to the Building Act 2004 the land in this area is in Zone B, under Section 4 - Durability of NZS 3604:2011. See attached Durability Map.

WIND EFFECTS - REGION A

The land is within Wind Region A (See figure 5.1 - Wind Regions and Lee Zones) attached. For any proposed future building works on site, a site specific assessment will have to be undertaken. Note further details can be found on the BRANZ website (www.branz.co.nz).

No other special features or characteristics of the land are known to Council at this time.

NATURAL HAZARDS

The land or part of the land is wet land and of low bearing capacity.

A Report commissioned by J2 Homes for the purpose of site investigation, dated 19 May 2016 was prepared by Kirk Roberts Consulting Engineers, titled Geotech Report - Job No. 162440. A copy of report attached.

2:

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DRAINAGE & UTILITIES: PRIVATE AND PUBLIC. STORMWATER AND SEWERAGE DRAINS:

The land is connected to a reticulated sewerage treatment and disposal system.

Attached is a plan showing the sewer main serving the land.

Stormwater is disposed of to the open land drain that crosses the subject property.

Attached is a plan showing the stormwater main and open land drain that crosses the land.

Attached is a plan showing the land drainage outlet that has been provided for the land, along with a copy of Council's Drainage Bylaw.

Please note that mechanical and spray cleaning of the drain shall be carried out periodically. Structures and planting must be kept clear of the drain for this purpose. They may not (without prior consent from Council) be located within 15 metres of any land drain owned or administered by Council.

Please note that the location of all of the services shown on the computer generated plan is indicative only. The actual location of services needs to be checked on site. See as built for actual locations.

3:

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INFORMATION RELATING TO ANY RATES OWING IN RELATION TO THE LAND:

Information which relates to rates owing in relation to the land is attached.

Please note that Water Rates `AND` from 01 July 2025 - Waste water rates are not included in the attached rates printout.

These are separately invoiced every six months. Note - for 2025/26 the Fixed Water charge is \$243.46 (balance by meter) and the fixed Waste Water charge is \$847.56 (1 Pan).

For more information on when the water meters in your area are read please contact Council on 07 862 8609, or visit our website www.hauraki-dc.govt.nz

Waikato Regional Council Rates

This property will also be liable for rates from Waikato Regional Council. Refer to its website for details:
<http://www.waikatoregion.govt.nz/Council/Rates>

4:

CONSENTS, CERTIFICATES, NOTICES, ORDERS OR REQUISITIONS AFFECTING THE LAND

Following are details of Building Permits or Building Consents which have been issued for the land. (The details provided may exclude some permits issued by the previous territorial authorities.)

Also listed are buildings (which the Council has been advised about) for which a Building Consent was not obtained as the owner believed them to be exempt under Schedule 1 of the Building Act 2004.

Note: many buildings (which the owners believe to be exempt) are erected without Council being advised, so there may be other such buildings on-site which are not listed below.

The absence of records for building permits or consents may mean any of the following;

- * The building was erected without a permit or consent.
- * The Council no longer holds a record of the permit (previous bylaws allowed for the record to be discarded after 10 years from the date of issue).
- * The property was in the ownership of the Crown when the building was constructed and did not therefore require a permit.
- * The owner believed the building work to be exempt under Schedule 1 of the Building Act 2004.

WHAT IF I BUY A PROPERTY WHICH HAS AN EXISTING BUILDING WITHOUT ANY BUILDING CONSENT OR PERMIT?

If building work was carried out without a building permit prior to the 1991 Building Act, or without obtaining building consent under the Building Act 2004, then there is no authority under the Act for the Council to retrospectively issue a building consent for the work. This is the legal position, and until there is any amendment to the Building Act 2004, Council cannot retrospectively validate building work carried out without Consent.

For buildings erected prior to commencement of the Building Act 1991, without any building permit or for which Council holds no records, then Council is generally unlikely to take any action against the current owners of that building unless the building is unsafe or insanitary in terms of the Building Act 2004 or the provisions of the Health Act 1956. This assumes that the building complies in all other respects with other statutory requirements.

For building work carried out between 1991 and 2013, for which Council holds no record, it is likely that the building work was carried out without consent. If so, the property owner and the person who carried out the work may have contravened the Building Act 1991 and enforcement action may be taken at the Council's discretion. If purchasers require a report on a building they should engage a Building Surveyor to inspect the building and provide the report. The Council is happy to put a copy of the report on the property file.

For building work carried out since 2013, for which Council holds no record, an exemption under Schedule 1 of the Building Act 2004 may apply. If purchasers want to find out more about these buildings they should engage a Building Surveyor to inspect the building(s) and provide a report. A copy of this report can be added to the Council's property file.

Please note that the Building Bylaws under which Building Permits were issued did not include a requirement for the signing of a certificate of completion of the building work (as is now the case under the Building Act for Building Consents).

In addition the Council's records of Building Permits is not complete, for various reasons, as noted above. Only in a few cases will Council be able to confirm "sign off" of Building Permits. The lack of a record of "sign off" therefore does not imply that the building work was not completed.

BUILDING INFORMATION

CONSENT NO. 2068 Issued 19/10/2016 - Dwelling with Attached Garage
CCC Issued 15/09/2017 - For Consent No. 2068

** CCC = Code Compliance Certificate

WEATHERTIGHT HOMES RESOLUTION SERVICE ACT 2006

No information is known to Council relating to this property.

WEATHERTIGHT HOMES DISCLAIMER

This information has been provided to the Council by the Chief Executive of the Ministry of Building Innovation and Employment, or the chair of the Weathertight Homes Tribunal, in accordance with section 124 of the Weather tight Homes Resolution Services Act 2006, or in response to an Official Information Act request by Council.

The Council is not in a position to verify the correctness of the information and cannot accept any responsibility for its accuracy.

RESOURCE CONSENTS

Details of Resource Consents (subdivisions/planning) granted for this land follow. (This may exclude those granted by territorial authorities other than the Hauraki District Council.)

SUBDIVISION

RC-15590
Decision No. 2009/2010-18 Granted 10/09/2009.
To subdivide Lot 3 DPS 54417, Orchard Road, Waihi into four residential lots. Copy of Decision and survey Plan attached.

201.2012.00000025.001
Decision No: 2011/12-119 Granted 30/04/2012.
Lot 4 DP 455508 was created by the subdivision of Lots 1 & 2 DP 421991, Orchard Road & Waitete Road. Copy of Decisions, Survey Plan, As-built Plan, and Certificates attached.
**Please note in particular the ongoing conditions (221 Consent Notice).

Decision No. 2012/13 - 36 Granted 09/10/2012
To cancel Consent Notices in relation to DP421991. See copy of decision attached.

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INFORMATION RELATING TO BUILDING CERTIFIERS CERTIFICATES HELD BY COUNCIL

No certificates issued by Building Certifiers are held by Council.

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| INFORMATION RELATING TO THE USE TO WHICH THE LAND MAY BE PUT AND THE |
CONDITIONS ATTACHED TO THAT USE : ZONING:

The land is zoned RESIDENTIAL in the Hauraki Section of the Operative Hauraki District Plan. Attached is a copy of the zone section of the Plan, and the relevant Planning Map.

Please note that Section 6 "Conservation and Heritage", Section 7 "Specific and District Wide Matters," Section 8 "Performance Standards for Development and Subdivision" and Section 9 "Subdivision", also need to be consulted in relation to any proposed activities on the land.

7:
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INFORMATION FROM STATUTORY ORGANISATIONS NOTIFIED TO COUNCIL:

No information is known to Council.

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NETWORK UTILITIES:

The Electricity Supply Company has advised that any additions to existing buildings or structures in the vicinity of an electric line must comply with the New Zealand Electrical Code of Practice for Electrical Safety Distances, NZECP 34:2001.

FIBRE OPTIC CABLES

Council holds no information on the location of fibre optic cables.

For information on the location of fibre optic or other telecom cables contact Spark by phoning 0800 B4UDIG (0800 242 344).

ROAD RESERVE WORKS - COUNCIL ROADS

Should be intending to carry out any works within the road reserve eg: construction, upgrading of entrance, trenching for service connections etc, you will need to obtain a Corridor Access Approval from the Council before you start work (for Council Roads).

Further information regarding this can be obtained by contacting Council's Customer Service Advisors.

9:
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INFORMATION ON PUBLIC WORKS KNOWN TO COUNCIL:

Council has no information on existing or proposed Public Works which affect the land.

10:
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INFORMATION IN RESPECT TO SWIMMING POOLS:

Council has no knowledge of a swimming pool/spa pool on this land.

It is the land owner's responsibility to ensure that if there is any swimming pool on the subject land that it complies with the requirements of the Building Code, or Fencing of Swimming Pools Act 1987 (for pools installed prior to 01 January 2017).

11:
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WATER:

This land is connected to the reticulated water supply, the water is metered.

Attached is a plan showing the water main serving the land.

12:
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COMMENTS OR ADDITIONAL INFORMATION:

HAURAKI GULF MARINE PARK ACT 2000

The purpose of the Hauraki Gulf Marine Park Act 2000 is to:-

- (a) integrate the management of the natural, historic, and physical resources of the Hauraki Gulf, its islands, and catchments:
- (b) establish the Hauraki Gulf Marine Park:
- (c) establish objectives for the management of the Hauraki Gulf, its islands, and catchments:
- (d) recognise the historic, traditional, cultural, and spiritual relationship of the tangata whenua with the Hauraki Gulf and its islands:
- (e) establish the Hauraki Gulf Forum.

This Act applies to all of the land in the Hauraki District which is within the Drainage Catchment of the Hauraki Gulf (which includes the east coast of the District). The subject land is within the area subject to the Act. See attached Map.

MINING INFORMATION

The following underground and open cast mines currently operate or have consent for mining within Waihi.

- Martha Open Cast Pit Mine - Land Use consent/Provisions of section 5.17 Martha Mineral zone, of the Operative Hauraki District Plan.
- Favona Underground Mine (Decline and Mining) - Land Use Consent - mining currently not taking place.
- Trio Underground Mine (Development/Exploration and Mining) - Land Use Consents.
- Correnso Underground Mine - Consented. Commenced 2013.
- Slevin Underground Project Area (SUPA) Mine Consented. Commenced 2016.

The following exploration projects currently operate or are consented within Waihi:

- Martha Drill Drive Project

The Project Martha Resource Consent application was approved in December 2018 for remedial works on the Martha Pit North Wall and an underground mine below the Martha Pit and in a limited area south of the Pit. A copy of the decision is available on the Council website (<http://www.hauraki-dc.govt.nz/our-district/mining/project-martha/>).

Plans showing the location of these mining/exploration Consents are attached. In Waihi mining creates amenity effects predominantly relating to noise, dust and vibration and these effects are managed through the Resource Consent conditions imposed on the mining company, or standards set through the Operative Hauraki District Plan.

From time to time the Council is notified of applications for exploration and/or mining Consents, and new Consents may be granted. Some exploration is a permitted activity and does not require Resource Consent.

Further information including a copy of the expired Mining Licence (now provisions of the (Operative Hauraki District Plan) and Extended Martha Mine Land Use Consent can be found on Council`s website;
(<http://www.hauraki-dc.govt.nz>)

A proposed variation to the Mining Licence was publicly notified on 15 December 2016. The Mining Licence was varied in accordance with the proposal and has now expired (16.07.2017). Its terms and conditions have been incorporated into the Operative Hauraki District Plan.

On 16 June 2021 Oceana Gold announced two new projects called Martha Open Pit Project and Waihi North Project.

On 21 April 2022 Oceana Gold lodged a Private Plan Change application with Hauraki District Council. This sought amendments to the Operative Hauraki District Plan (including the extension of the area zoned Martha Mineral) to make provision for a Resource Consent application to be made, at a later date, for an extension of the Martha Mine Open Pit (Martha Open Pit Project)

The Hearing of the application and submissions commenced on 10 December 2024 and closed on 11 February 2025. The recommendations of the Hearing Panel were considered, and adopted, by the Council at its meeting on 27 March 2025.

The Council decisions were publicly notified on 01 April 2025 and the Environment Court appeal period started (for applicants and submitters) from 02 April 2025. One appeal has been lodged. The Environment Court will determine the process to be followed for this.

Attached is a map showing the zone changes.

The applications lodged on 23 June 2022 for Resource Consents from Hauraki District Council and the Waikato Regional Council for the Waihi North Project have been withdrawn. The proposed project consists of five main components across seven (7) Areas (see the attached Figure 1), as follows:

- Wharekirauponga Underground Mine (Area 1), associated underground access drives (Areas 1 and 3) and a Surface Facilities Area (Area 2).
- Tailings Storage Facility 3 (Area 7).
- Gladstone Open Pit (Area 5).
- Upgrade of the Processing Plant (Area 5).
- Northern Rock Stack (Area 6).

A replacement application has been granted on 18/12/2025 under the Fast-Track Approvals Act 2024, by the Environmental Protection Authority.

Further information on the Waihi North Project should be sought from Oceana Gold at www.waihigold.co.nz, or the Waihi North Project webpage at: www.fasttrack.govt.nz/projects/waihi-north

PROPOSED WIND FARM *****

The Hauraki District Council received a Resource Consent application late 2018 from Kaimai Wind Farm Ltd to establish and operate a 24 turbine wind farm on 771 and 604 Rotokohu road and 6356 State Highway 26 (on the north western area of the Kaimai Range) south of Paeroa.

The application was publicly notified - with the submission period closing on 31 January 2019. This resulted in 220 submissions to Hauraki District Council (as well as 143 to Waikato Regional Council).

The proposal has been included in the Schedule 2 list of projects that is part of the Fast Track Approvals Act. If applications are lodged under this legislation processing will become the responsibility of the body appointed under that legislation (and will not be carried out by the Council`s).

A copy of the application can be viewed on Councils website:
www.hauraki-dc.govt.nz

HAZARDS PORTAL

The Waikato Regional Council holds and administers a "Waikato Regional Hazards Portal" on its website, for the Waikato Region.

The tool is available for viewing at the following website:
www.waikatoregion.govt.nz/services/regional-hazards-and-emergency-management/regional-hazards-portal/
and should be read alongside its Disclaimer.

The Hauraki District Council does not hold any information on the design, process, methodology or functionality of the Regional Hazards Portal. The Hauraki District Council makes no representation as to the completeness, accuracy, or otherwise of any information or data provided by the Regional Hazards Portal, or its use.

13:
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RECORD OF TITLE:

It is recommended that a copy of the RECORD (CERTIFICATE) OF TITLE be obtained prior to purchasing a property. This may contain additional information, for example; Covenants, Easements, Consent Notices.

14:
|-----|
DISCLAIMER:

This Land Information Memorandum has been prepared for the purposes of Section 44A and 44B of the Local Government Official Information and Meetings Act 1987 and includes all the information required to be provided pursuant to Sect 44A(2) that is known to the Hauraki District Council relevant to the land described as at the date this LIM was issued.

It is based on a search of Council records only and there may be other information relating to the land which is unknown by Council.

The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this Land Information Memorandum.

The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

15:
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DISTRICT PLAN:

The Hauraki District Plan (2014) was made operative on 26th September 2014.

You are advised to discuss any specific proposals with the Hauraki District Council Duty Planner to determine the rules relevant to your property or visit the Hauraki District Council website for the District Plan Maps and Text.

A copy of the Operative District Plan can be viewed at
www.hauraki-dc.govt.nz.

Address all correspondence to the Chief Executive.

Enquiries in respect to this document should be made at the Paeroa Office.

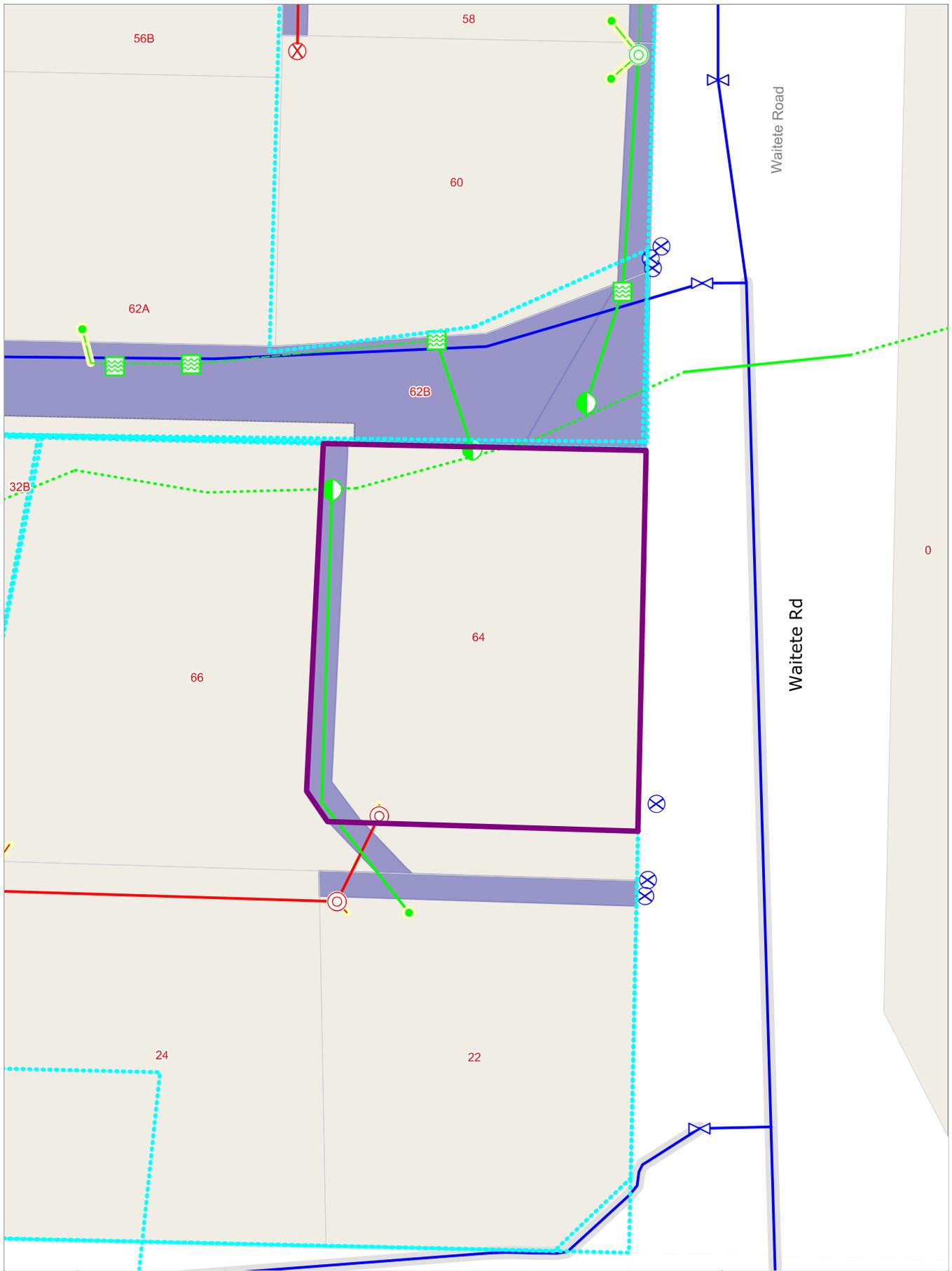
Signed for and on behalf of the Hauraki District Council:



.....
Peter Thom

Group Manager Community Development & Regulatory

Date: 30/01/2026



Date	11/11/2025
Print	A4 Portrait
Source	HDC GIS – LIM Map
Scale	1:400
Created By	Vicki Cuthbert

64 Waitete Road Waihi

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Map Key

Last Updated
11/03/2025



Stormwater

- Catchpit Lead
- Connection
- Open Drain
- Pipe
- Rising Main
- Stopbank
- Private Catchpit Lead
- Private Connection
- Private Open Drain
- Private Pipe
- Catchpit
- Connection
- Stormwater Filter
- Flap
- Protection
- Inlet
- Manhole
- Outlet
- Outfall
- Valve
- Rodding Eye
- Pump Station
- Private Catchpit
- Private Connection
- Private Stormwater Filter
- Private Inlet
- Private Manhole
- Private Rodding Eye
- Private Outfall

Stormwater Abandoned

- Connection
- Open Drain
- Pipe
- Catchpit
- Detention
- Manhole
- Outfall

Water

- Pipe
- Trunk Main
- Raw Water main
- Service Lead
- Scour Pipe
- Overflow Pipe
- Private Service Lead
- Private Pipe
- Hydrant
- Intake
- Booster Pump
- Chamber
- Treatment Plant
- Treated Water Reservoir
- Valve - Air Valve
- Valve Closed
- Valve Open
- Pressure Reducer Valve
- Pigging Point
- Water Meter with Internet
- Water Meter
- Storage Tank
- Private - Water Meter
- Private - Hydrant
- Private Valve
- GIS Valve - Air Valve

Water Abandoned

- Pipe
- Raw Water main
- Service Lead
- Hydrant
- Intake
- Treatment Plant
- Treated Water Reservoir
- Valve
- Water Meter

Wastewater

- Gravity Main
- Rising Main
- Connection
- Sludge Rising Main
- Private Gravity Main
- Private Rising Main
- Private Connection
- Connection
- Inspection Point
- Manhole
- Pump Station
- Dump Station
- Rodding Eye
- Air Valve
- Valve
- Treatment Plant
- Private Connection
- Private Dump Station
- Private Inspection Point
- Private Pump Station
- Private Manhole
- Geobag Membrane
- Storage Tank

Wastewater Abandoned

- Gravity Main
- Rising Main
- Connection
- Crossing - Bridge
- Inspection Point
- Manhole

Boundary

- Hauraki District
- TLA
- Land Parcel
- Assessment
- Parcel Easement

Land Drainage

- Pump Station
 - HDC
 - WRC
- Floodgate
 - HDC - Land Drainage
 - Unknown
 - HDC - Transport
 - NZTA
- Land Drain
- WRC
- Stopbank
- Syphon
- Land Drain Abandoned
- Drainage District
- Water Canal

Earthquake Building Assessment

- Earthquake Prone
 - Yes
 - No
 - Partial
- Category
 - A
 - B
 - C
 - BA Section 133AG(1b)
 - No Category
- Priority Building
 - Yes
 - No
- Historic Building
 - Yes
 - No

Powerlines

- Powerco_Overhead
- Powerco_Underground
- Powerco_Buffer12m
- Powerco_Buffer32m
- Transpower_Lines
- Transpower_Buffer12m
- Transpower_Buffer32m

Land Hazard

- Mineshaft
- Mine Hazard Line
 - Low Risk
 - Med Risk
 - High Risk
- Fault Line
- HAIL Line - Verified HAIL - No Sampling
- HAIL Site
 - Contaminated
 - Managed
 - Remediated
 - Sampled
 - Unverified HAIL
 - Verified HAIL
 - Verified HAIL - Limited Sampling
 - Verified HAIL - No Sampling
- HAIL Area
 - Contaminated
 - Managed
 - Remediated
 - Sampled
 - Unverified HAIL
 - Verified HAIL
 - Verified HAIL - Limited Sampling
 - Verified HAIL - No Sampling
 - Review Pending
- Peat Area
- Fill Area
- Swamp
- Low Area
- Kaiiua Hazard
 - Advisory
 - Contamination
 - Fill
 - Subsidence
 - Slippage
 - Erosion
 - Inundation
 - Other

Metadata

The Digital Cadastre Layers are produced and maintained by Land Information New Zealand (LINZ) and is a component of the digital cadastral dataset available from LINZ. Accuracy, particularly in non survey-accurate areas, can be variable. The spatial accuracy of an object is better where the object's position has been determined by using either surveyed bearings and distances captured from survey plans or adjusted survey data.

Copyright

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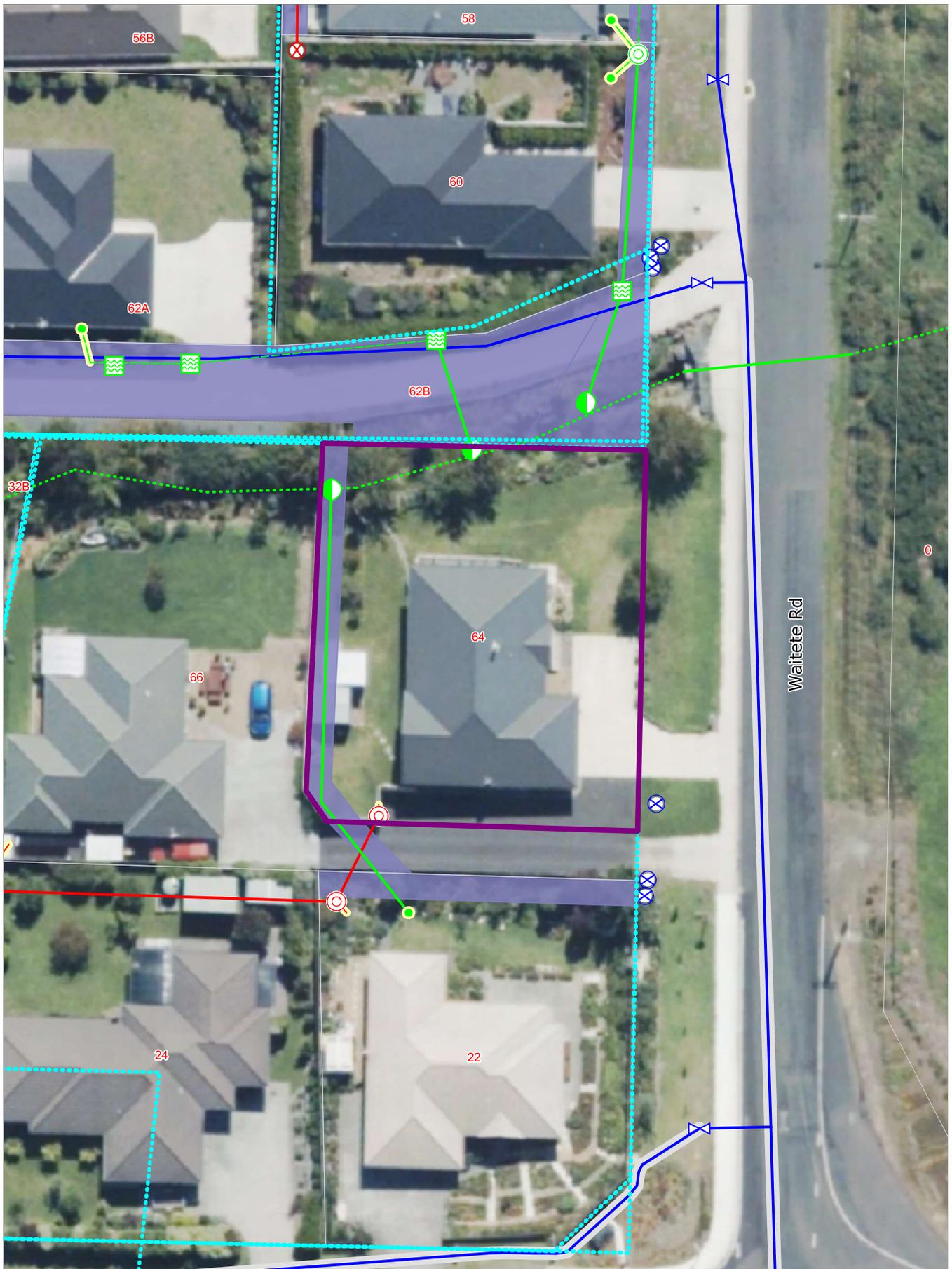
Contact Hauraki District Council

Phone: (07) 862 8609

Email: info@auraki-dc.govt.nz

Postal Address: PO Box 17, Paeroa 3640, New Zealand

Website: www.hauraki-dc.govt.nz



Date	11/11/2025
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Created By	Vicki Cuthbert

64 Waitete Road Waihi

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Hauraki District Plan

16 November 2020
Incorporating
Plan Change 4



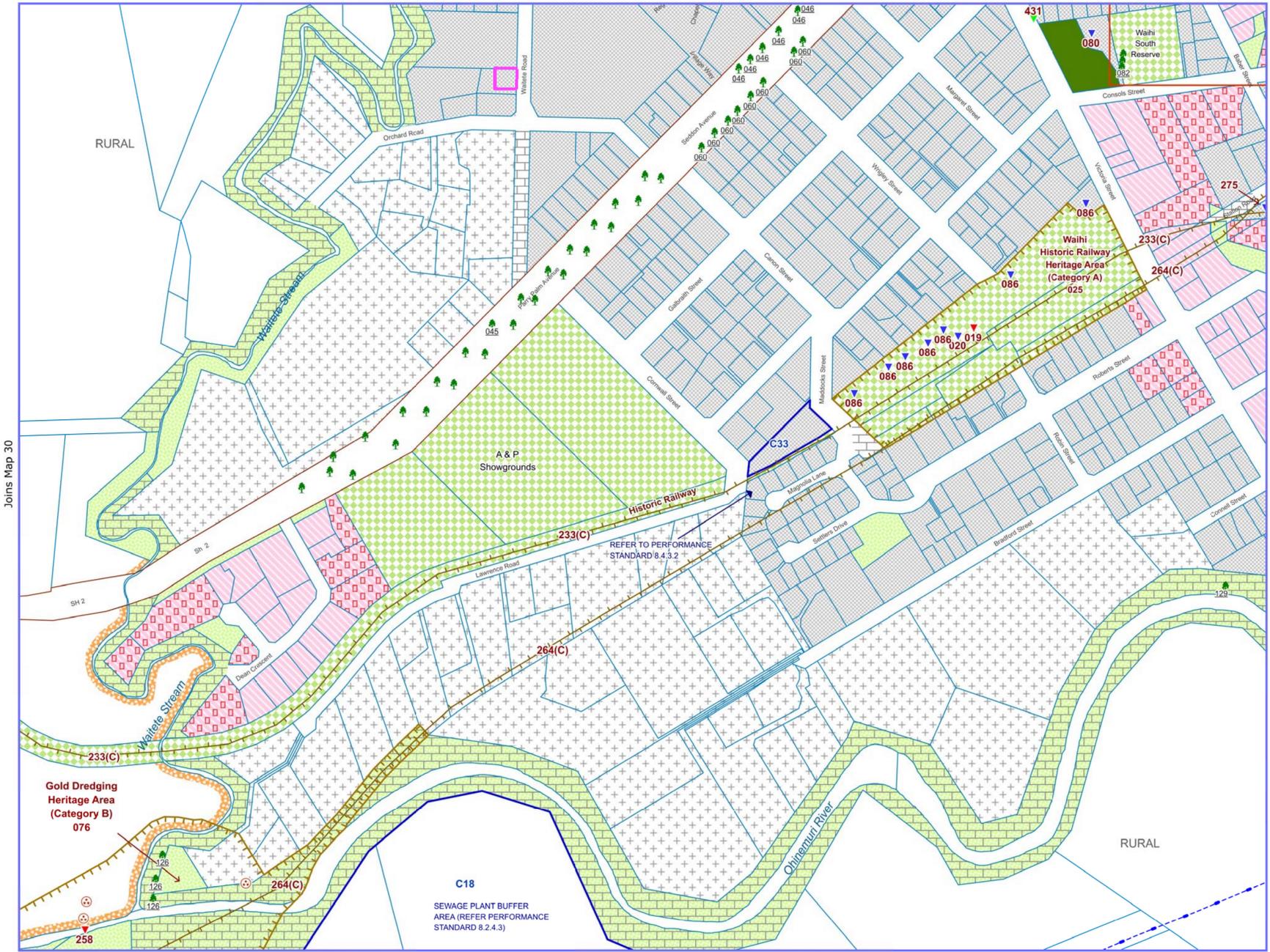
 = subject property

NOTE: For full list of notations and description of information shown on maps please refer to separate Map Legend

Waihi

MAP NO

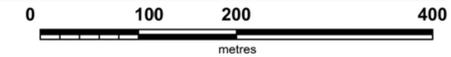
K5



Joins Map 30

Joins Map K6

Cadastral data sourced from Land Information NZ. CROWN COPYRIGHT RESERVED.
Significant Natural Areas sourced from Waikato Regional Council.





PLANNING ZONES
(Section 5)

	Rural (Section 5.1) refer to duplicate Planning Map for Outstanding Natural Landscape and District Amenity Landscape area overlays
	Conservation (Indigenous Forest) (Section 5.2)
	Conservation (Wetland) (Section 5.3)
	Coastal (Section 5.4)
	Karangahake Gorge (Section 5.5)
	Residential (Section 5.7)
	Low Density Residential (Section 5.8)
	Marae Development (Section 5.9)
	Township (Section 5.10)
	Town Centre (Section 5.11)
	Industrial (Section 5.12)
	Paeroa Flood Ponding (Section 5.13)
	Reserve (Active) (Section 5.15)
	Reserve (Passive) (Section 5.16)
	Martha Mineral (Section 5.17)
	Golden Cross Mineral (Section 5.18)

SIGNIFICANT FEATURES

	multiple trees	Significant Tree (Section 6.4)
	single trees	
		Outstanding Natural Feature (Section 6.3)
		Outstanding Natural Feature (Area) (Section 6.3)
		Heritage Feature Category A (Section 6.1)
		Heritage Feature Category B (Section 6.1)
		Heritage Item Category C (Section 6.1)
		Heritage Area (Section 6.1)
		Heritage Line Item (Section 6.1)
		Area of Significance to Maori (Section 6.1)
		Area of Significance to Maori (Section 6.1)
		Significant Natural Area (Section 6.2.6)
		Significant Natural Area (where over Conservation Zones) (Section 6.2.6)
		Significant Natural Area (Section 6.2.5.1(3) Table 1)

NOTE: re Transmission Lines

While only High Voltage Transmission and Sub-Transmission Lines are identified on the Planning Maps, works in close proximity to any electric line can be dangerous. Compliance with the New Zealand Code of Practice 34:2001 is mandatory for buildings, earthworks and mobile plants within close proximity to all electric lines. Compliance with the Electricity (Hazards from Trees) Regulations 2003 is also mandatory for tree trimming and planting. To discuss proposed works, including tree planting, within close proximity to electric lines, contact the line operator.

OTHER NOTATIONS

	Rural Zone District Amenity Landscape Area (Section 5.1)
	Rural Zone Outstanding Natural Landscape Area (Section 5.1)
	Area Subject to Inundation (Paeroa) (Sections 5.1, 5.7, 5.12)
	Amenity Protection Area (Section 5.12)
	Pedestrian Frontage (Section 5.11)
	Proposed Esplanade (Section 7.3)
	Designation (Section 7.5)

Designating Authority Codes

- A - Minister of Corrections
- B - Minister of Justice
- C - Hauraki District Council
- D - Meteorological Service of NZ Ltd
- E - Minister of Education
- F - Minister of Police
- G - Minister of Railways
- H - Minister of Transport
- J - PowerCo Limited
- K - Chorus NZ Limited
- L - Transpower NZ Ltd
- M - Waikato Regional Council
- N - Telecom NZ Limited

	Floodways (Section 8.2.1)
	Spillways (Section 8.2.1)
	Piako Flood Ponding Area (Sections 5.1 and 8.2.2)
	Whiritoa - Toe of Frontal Dune (1995/96) (Section 8.2.3)
	Whiritoa - Primary Development Setback Line (Section 8.2.3)
	Whiritoa - Secondary Development Setback Line (Section 8.2.3)
	High Voltage Transmission Line (Section 8.2A)

OTHER NOTATIONS

	Structure Plan Area (Section 8.6.3)
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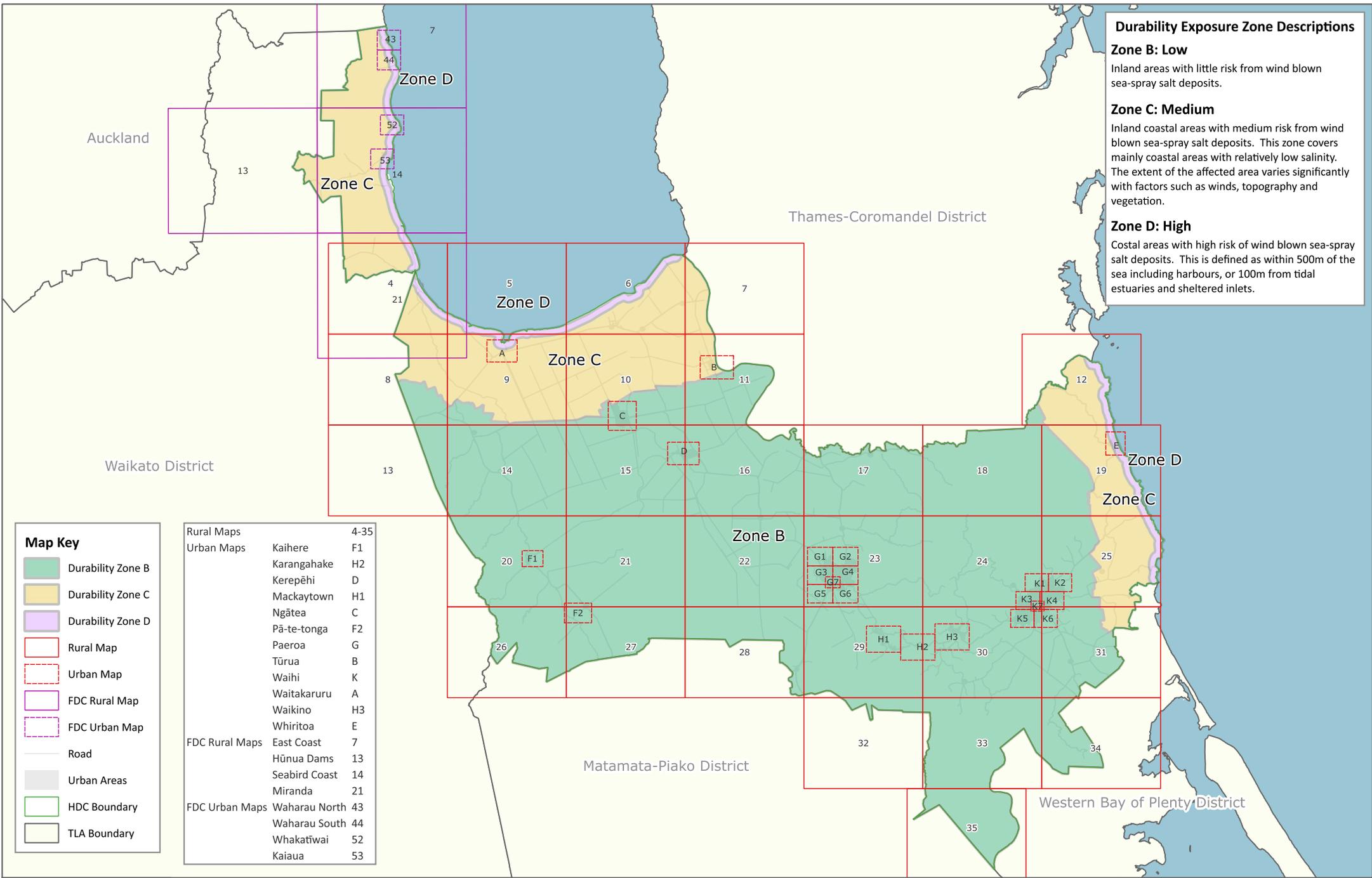
Structure Plans

- 8.6.4 Turua (Residential)
- 8.6.5 Ngatea North (Residential)
- 8.6.6 Ngatea South (Residential)
- 8.6.7 Kerepehi North Industrial
- 8.6.8 Kerepehi South Industrial
- 8.6.9 Kerepehi Residential
- 8.6.10 Paeroa North (Residential)
- 8.6.11 Opukeko, Paeroa (Industrial)
- 8.6.12 Waikino (Low Density Residential)
- 8.6.13 Waihi East (Residential)

	Quarries: Quarry Resource Area (Section 9.4.1.2)
	Quarry Reverse Sensitivity Area (Section 9.4.1.2)

INFORMATION ONLY

	Archaeological Site
Archaeological site locations shown may be inaccurate in some cases as the updated data (Archaeological Upgrade Project) is not yet available.	
	Coastal Marine Area (CMA) (Landward Boundary)
	State Highway
	Sub Transmission Line
	Water Supply Catchments
	Unformed Road
	Extent of Future Urban Development (Turua only)



Durability Exposure Zone Descriptions

- Zone B: Low**
Inland areas with little risk from wind blown sea-spray salt deposits.
- Zone C: Medium**
Inland coastal areas with medium risk from wind blown sea-spray salt deposits. This zone covers mainly coastal areas with relatively low salinity. The extent of the affected area varies significantly with factors such as winds, topography and vegetation.
- Zone D: High**
Costal areas with high risk of wind blown sea-spray salt deposits. This is defined as within 500m of the sea including harbours, or 100m from tidal estuaries and sheltered inlets.

Map Key

- Durability Zone B
- Durability Zone C
- Durability Zone D
- Rural Map
- Urban Map
- FDC Rural Map
- FDC Urban Map
- Road
- Urban Areas
- HDC Boundary
- TLA Boundary

Rural Maps	4-35
Urban Maps	F1-K6
	Kaihere F1
	Karangahake H2
	Kerepēhi D
	Mackaytown H1
	Ngātea C
	Pā-te-tonga F2
	Paeroa G
	Tūrua B
	Waihi K
	Waitakaruru A
	Waikino H3
	Whiritoa E
FDC Rural Maps	East Coast 7
	Hūnua Dams 13
	Seabird Coast 14
	Miranda 21
FDC Urban Maps	Waharau North 43
	Waharau South 44
	Whakatīwai 52
	Kaiaua 53

Hauraki District Durability Zones

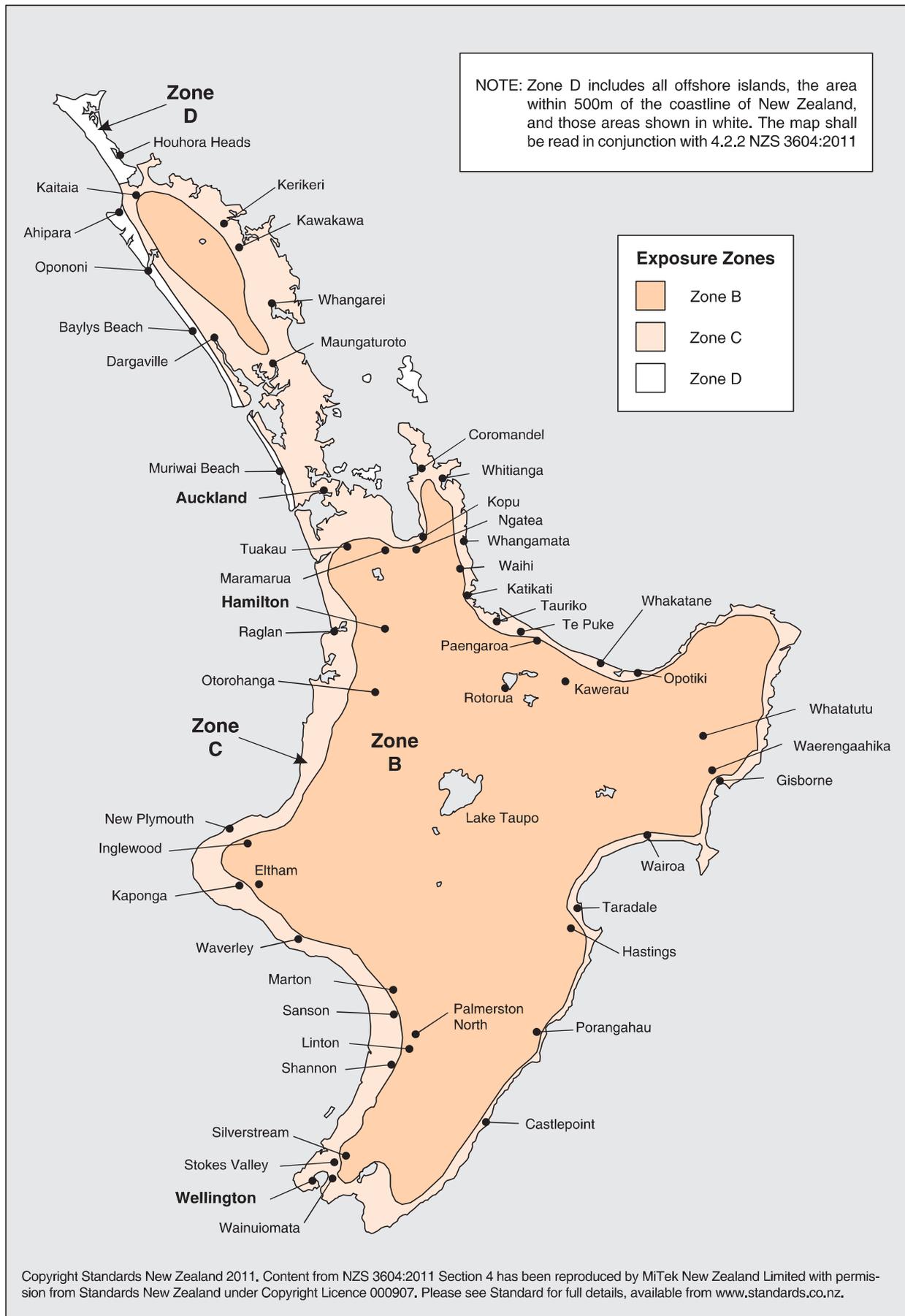
Print Size: A4 Landscape
Date: 10-March-2025
Projection: NZTM

Scale: 1 to 350000
Map By: HDC GIS
Source: HDC GIS

Hauraki District Council does not guarantee that this map is without flaw of any kind and disclaims all liability for any errors, loss or other consequences which may arise from relying on any information depicted.
File Location: Z:\Maps\Policy and Planning\Planning Zones\Durability Zones



SECTION 4 - DURABILITY



Exposure zone map

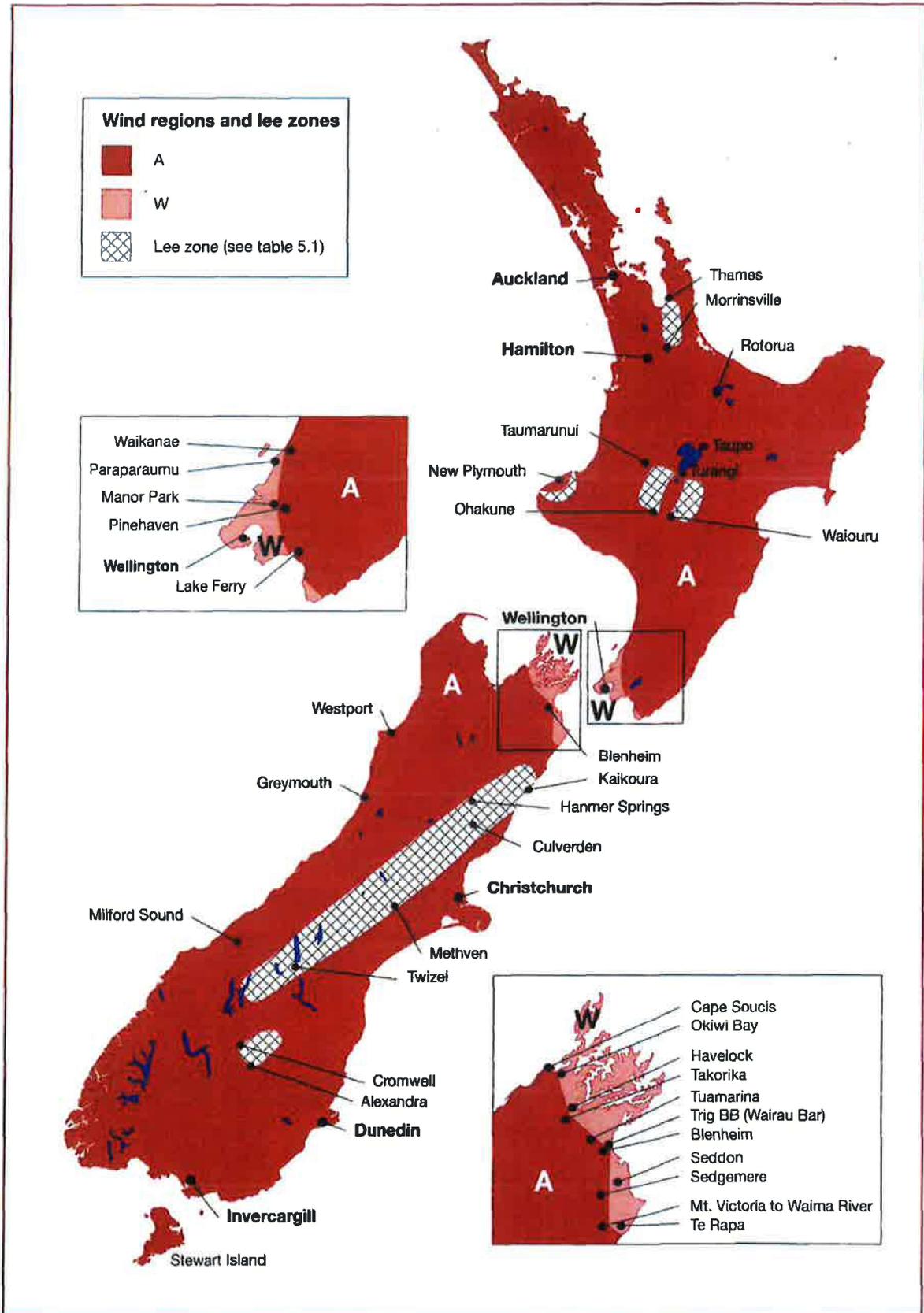
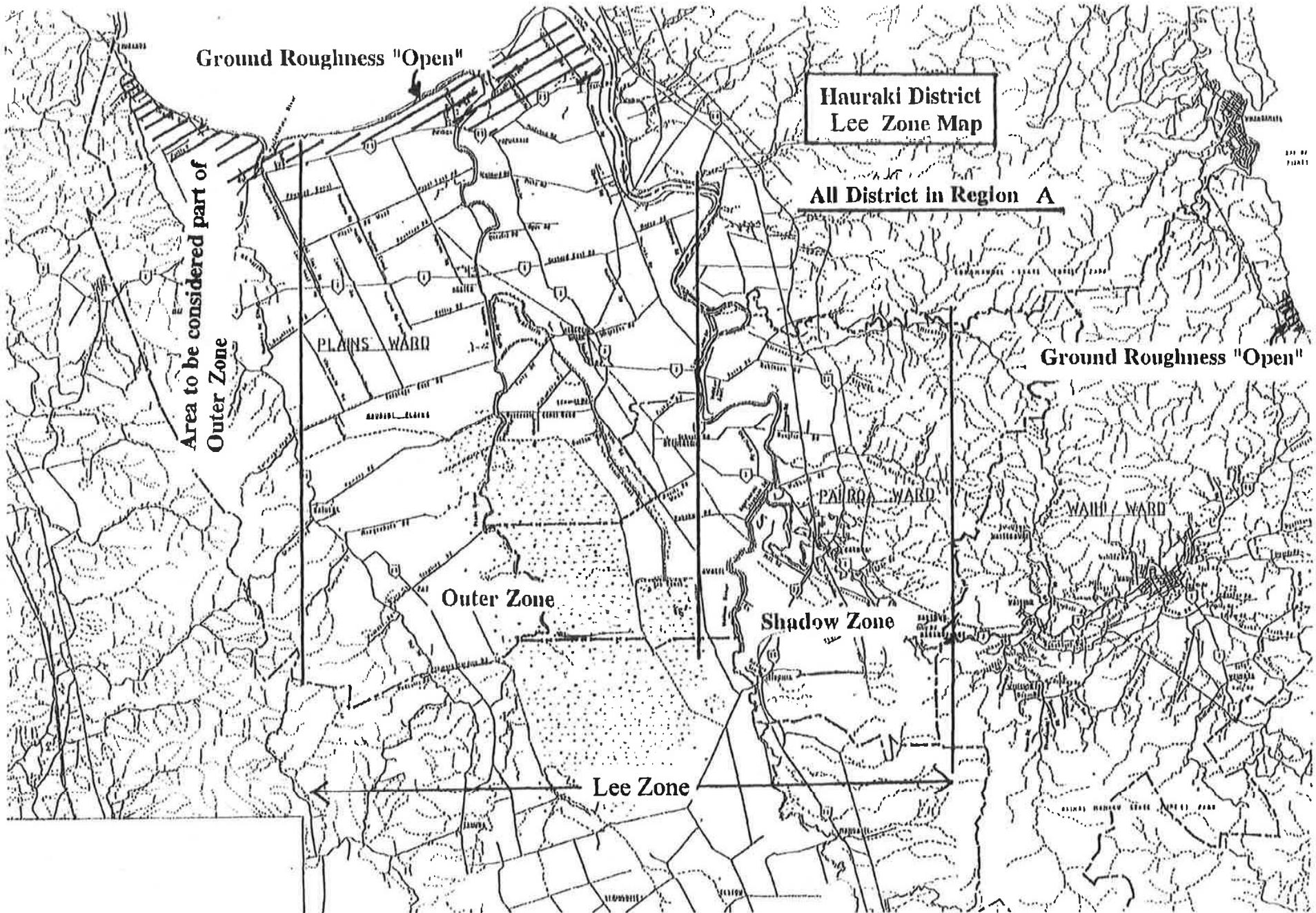


Figure 5.1 – Wind regions and lee zones (see 5.2.2)



Ground Roughness "Open"

**Hauraki District
Lee Zone Map**

All District in Region A

Area to be considered part of
Outer Zone

PLAINS WARD

Ground Roughness "Open"

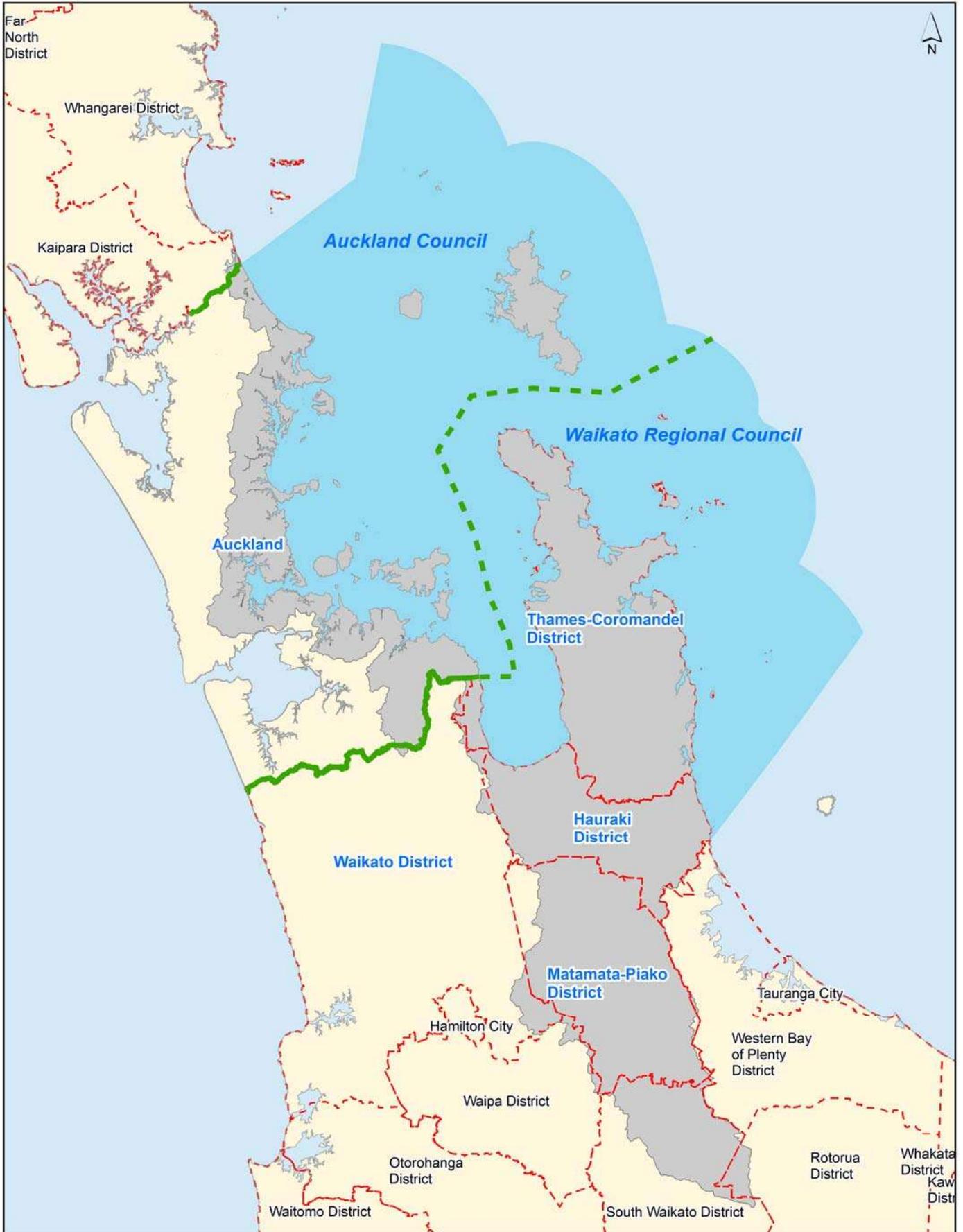
Outer Zone

Shadow Zone

Lee Zone

PAEROA WARD

WAIKATO WARD



This map/plan is illustrative only and all information should be independently verified on site before taking any action. Copyright Auckland Council. Land Parcel Boundary information from LINZ (Crown Copyright Reserved). Whilst due care has been taken, Auckland Council gives no warranty as to the accuracy and completeness of any information on this map/plan and accepts no liability for any error, omission or use of the information. Height datum: Auckland 1946.

Date: 12 December 2011

Hauraki Gulf Marine Park Catchment and TLA boundaries



- - - Regional Sea Boundary
- Regional Boundary
- Hauraki Gulf Marine Park
- Hauraki Gulf Marine Park Catchment
- Waikato District Forum Member Council



Auckland Council
Te Kaitiaki o Tamaki Makaurau

LIM Report Search Results

[LIM Search]

SITUATION DETAILS

30/01/2026

Valuation Number 05020/001.14
Legal Text LOT 4 DP 455508
CT Reference 586283
Address 64 Waitete Road Waihi 3610

VALUATION INFORMATION

Area (Ha) 0.0805
Capital Value \$890,000.00
Land Value \$325,000.00

RATES INFORMATION FOR 2025/2026

Description	Rateable Value	Rates
General Rates	890000	\$909.40
Refuse - District Collection	1	\$191.46
Roading Rates	890000	\$736.21
Uniform Annual General Charge	1	\$887.89
Waihi Community Facilities	1	\$397.93
Waihi Urban Stormwater	890000	\$225.35
Total Rates Levied		\$3,348.24

Please Note:

Rates shown are for the 2025/2026 year.

15% GST is included.

Environment Waikato Regional Rates are invoiced separately.

BALANCE/ARREARS INFORMATION

Current Rates Balance \$2,046.10
Arrears/Overdue \$0.00
Rates Due Now \$2,046.10

Disclaimer This information is provided as at the date noted at the top right, it should not be used for property settlement purposes and contact should be made with Council if such a figure is required.

For more information please contact:

Hauraki District Council
William Street
PO Box 17
PAEROA

Phone **07 862 8609**
- **0800 734 834** (from within the district)
Fax **07 862 8607**
Email **rates@hauraki-dc.govt.nz**

DESTINATION

BUILDING UNIT

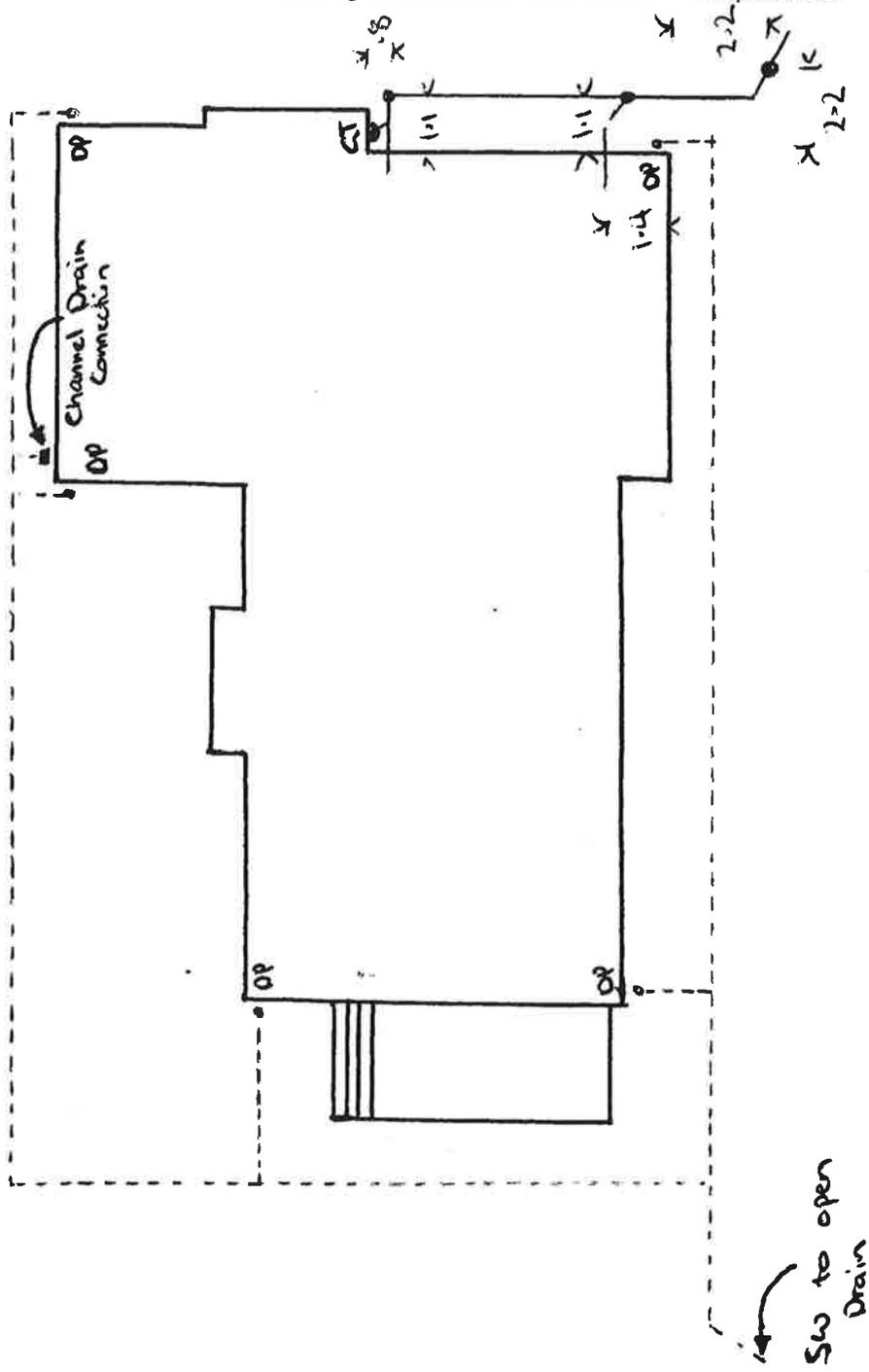
AS BUILT DRAINAGE PLAN

Inspection Booking Phone [REDACTED]

Street: <u>Waitete Rd</u> No: <u>56</u>	Lot: <u>4</u> DPS: <u>455508</u>
Owner: <u>Fred & Jill Kerkhorst</u>	Drainlayer: <u>Craig Hill</u>
Inspector: <u>Shane (Hauraki)</u>	Reg No: <u>23703</u>
Date of Inspection: <u>14-6-17</u>	Consent No: <u>2016/2068</u>

DRAINLAYER PLEASE FILL IN ALL DETAILS

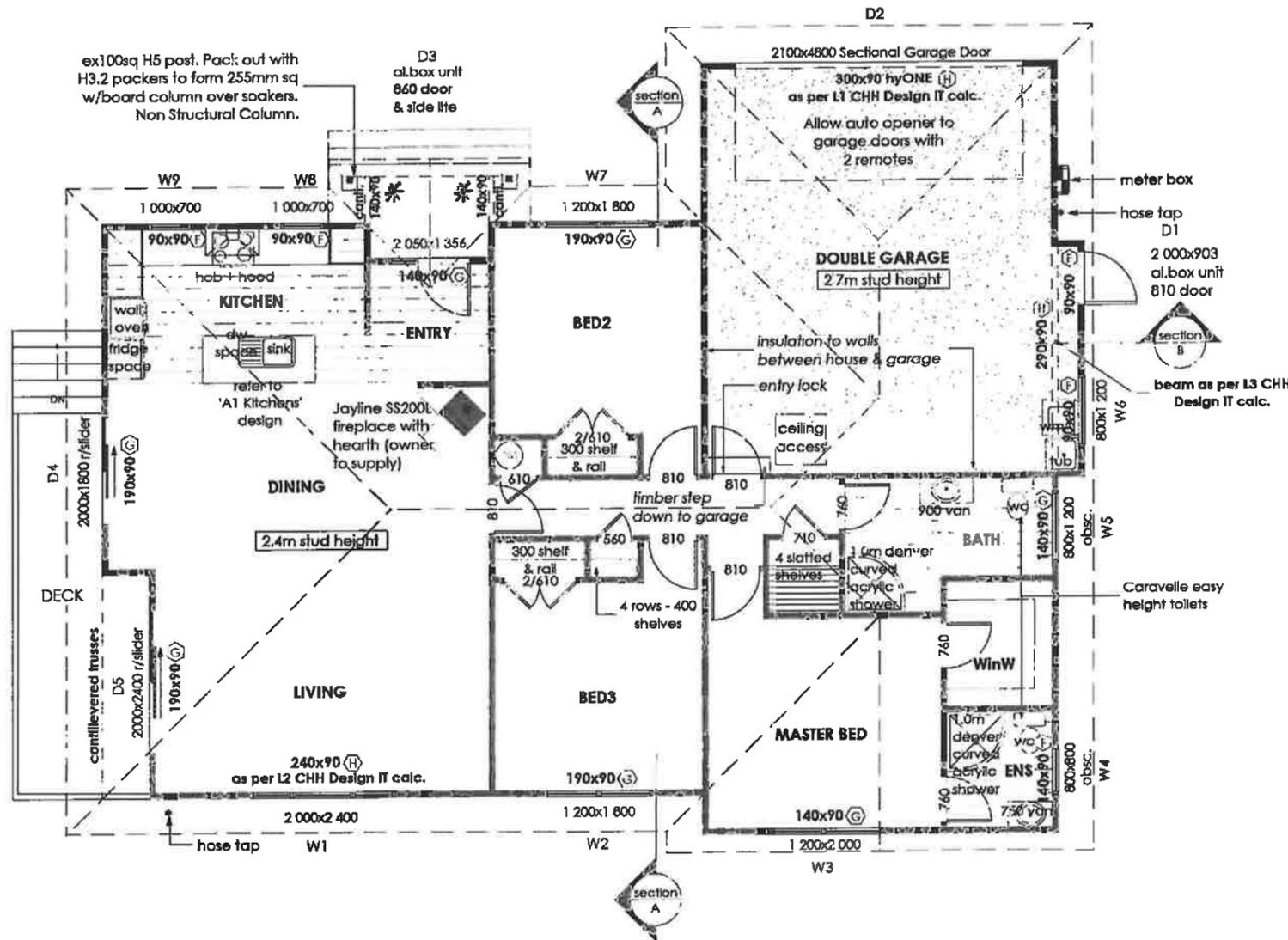
The building consent must be onsite for all inspections.



Drainlayer's Signature: Craig Hill Date: 16-6-17



Elevation Guide



Floor Area = 186.18qm o/frame

DESIGN ENGINEER

The structural elements designated * on this drawing have been designed by



Job No. 162440

Date 1/09/16 Signed *AM*

Notes:

Mains pressure 180L HWC with tempering valve & seismic restraint in accordance with NZBC: 2004 section G12. Electric hobs with vented r/hood. Polybutylene water supply pipes. Hot water supply pipes shall be thermally insulated to comply with H1/AS1 5.0

All dimensions are critical to ensure neat and exact fitting of components & fixtures.

Confirm all dimensions especially to bath, showers and vanities prior to placing Gib board or permanently fixing items.

Ensure additional nogs are placed for fitment of cabinetry and other components such as wall hung vanities, toilet rolls and towel rails etc.

For GIB control joint detailing refer to the 'GIB Site Guide' as control joints are required ...

- to walls at 9m crs.
- to ceilings at 9m crs (without perimeter relief)
- to ceilings at 12m crs (with perimeter relief)

Log burner fireplace & flue is to be installed to manufacturers specifications attached. Tiled hearth to extend 450mm from fire mouth and comply with NZBC B1: Structure. Flue to comply with AS/NZS 2918:2001 4.9. Fig 4.9

FRAMING

2.4m high studs 90x45 H1.2 KD SG8 @ 600crs with two rows nogs as per NZS:3604 2011
2.7m high studs 90x45 H1.2 KD SG8 @ 600crs with two rows nogs as per Design IT calc.

All framing 90x45 H1.2 KD SG8. Studs @ 600crs with two rows of nogs.

LINTELS

As shown from NZS:3604 2011.

- (F) Lumberlok Lintel Fixing type (Refer to sheet 10 for details)

It is the responsibility of the truss manufacturer to report any changes to lintel or beam sizes directly to the designer.

WET AREAS

BATH / ENS / LAUN / KITCHEN / WC (floor finishes)
Non-slip vinyl to achieve a minimum slip resistance coefficient of 0.25 - 0.50
Waterproof seal vinyl to edge of painted skirting contractor to comply with NZBC : E3/AS1 internal moisture.

LAUN / BATH / ENS (Wall finishes)
10mm GIB Aqualine, 1/coat GIB Sealer with 2/coats GIB Aquaseal paint (allow Aqualine around ldy tub walls only)

LAUN / BATH / ENS (Ceiling finishes)
10mm Standard GIB, 1/coat GIB Sealer with 2/coats Semi-Gloss Acrylic Enamel.

Allow 1 row of files (min. 150mm high) as bath splashback to walls around bath.

FIRE CODE COMPLIANCE: 10 April 2013.
Fire code compliance with NZBC sections C1/AS1.
Purpose group SH in accordance with Table 1.1 Pg 17
Proposed dwelling compliant with C1/AS1 sections
Part 2: 2.1 Provision of firecells
Part 3: Means of Escape Table 3.2
Part 4: 4.2.1 Surface Finishes
Part 5: Control of External Firespread
Part 6: 6.1 Fire Service vehicular access
Part 7: Prevention of Fire Occurring.

Joinery sizes shown are box sizes & are preliminary only. Site measure and confirm all joinery sizes, reporting to designer any changes, PRIOR to ordering joinery. No liability shall be held by designer for incorrect supply of joinery.

All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies occur, ask the designer or contractor immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of J2 HOMES NZ and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit becomes unconditional.
*All timber stress grading to be SGB unless otherwise noted.
All documentation prepared in accordance with NZS:3604:2011

Wind:	High
EQ:	1
Exposure:	B
Climate:	2

NEW HOME FOR:
Fred & Jill Kerkhof
56 Waitete Road
WAIHI

Title:
FLOOR PLAN

Drawn: epic vision Ryan Peters ryan@epicvision.co.nz	Date: Permit 31 Aug. 2016
Design: new design	Scale: 1 : 100
Job #: J460	Sheet: 05 of 27



STRUCTURAL
GEOTECHNICAL
CIVIL
FIRE



GEOTECHNICAL REPORT

56 Waitete Road, Waihi

Prepared for J2 Homes

JOB No. 162440
DATE 19/05/2016
ISSUE No. A

TAURANGA OFFICE
Level 1, 633 Cameron Road,
Tauranga, New Zealand
PO Box 13064, Tauranga 3141
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QUALITY CONTROL

Title 56 Waitete Road, Waihi – Geotechnical Report

Client J2 Homes

Filename 162440

Issue A

Date 19th May 2016

Prepared By Name: Blair McIntosh

Geo-technician

Signature:



Reviewed Name: Craig Manssen

And authorized by

BE (Hons), MIPENZ, CPEng
(161576)

Signature:



Limitations

This report has been prepared at the specific instructions of the client in connection with the geotechnical assessment at 56 Waitete Road. No liability is accepted by this company or any employee of this company with respect to its intended use by any other person or persons.

The subsurface soil conditions and the interpretations reported are those identified at the soil test locations at the time of the geotechnical assessment and are subject to the limitations of the investigation methods. The test results represent only a small sample of the total subsurface soils. Soil conditions may vary between the test locations and interpretation of the soil information and test results must take into account the spacing and plan location of the tests.

If subsurface conditions encountered on the site during construction appear to vary from those inferred from the information contained in this report, Kirk Roberts Consulting Engineers Ltd requests that it be notified immediately.

This report is only valid for the proposal as outlined in the introduction and the information and interpretation of the content in this report may not be relevant if the proposed development is altered in any way.

If the recipient of this report wishes to contact Kirk Roberts Consulting Engineers Ltd, either Email: tauranga@kirkroberts.co.nz or Phone: 07 571 0950.

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3. PROPOSED DEVELOPMENT	5
4. SITE GEOLOGY	5
5. SOIL INVESTIGATION	5
5.1 SUBSURFACE SOIL PROFILE	6
6. SOIL BEARING CAPACITY	6
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7. FOUNDATIONS	7
7.1 RESULTS/RECOMMENDATIONS	7

1. INTRODUCTION

Kirk Roberts Consulting Engineers Ltd have been engaged to carry out geotechnical investigations at the subject property, 56 Waitete Road, Waihi, to determine the allowable bearing capacity of the underlying soils for the design of foundations for a proposed new residential dwelling.

Our investigations took place on the 3rd of May 2016. The purpose of this report is to describe the investigations undertaken, to analyse the results, and to provide recommendations for foundation design.

2. SITE DESCRIPTION

The subject property is a residential property located at Waitete Road in Waihi. This site is located approximately 1.5 kilometers from Waihi city Centre. The site is legally described as Lot 4 DP 455508 and is physically located at 56 Waitete Road, Waihi. Set out of the site is shown on the attached site plan SK - 1. Direct access is available of Waitete Road.

The topography of the site and the surrounding sites are flat to gentle slopes due to earthworks as mentioned GCR. Prior to this the general topography comprised a gently inclined elevated terrace that graded relatively steeply within the western part of the site subdivision onto a lower lying flood plain associated with the broad Waitete Stream Valley. This stream is currently located 15 to 20 metres beyond the western boundary of this subdivision. At the time of our investigation no significant earthworks for a new dwelling had been carried out.

The site was part of Geotechnical Completion Report for Bawden Developments Residential Subdivision, Waitete Road, Coffey Geotechnics (NZ) Limited ref: GEOTAUC13715, dated September 2008. The Geotechnical Completion Report (CGR) described the earthworks as 'ground levels through the central part of the sites have been lowered by up to 1.5 metres with this material used to fill across the low-lying floodplain to depths of up to 2.5 metres providing a more consistent a gently graded landform'.

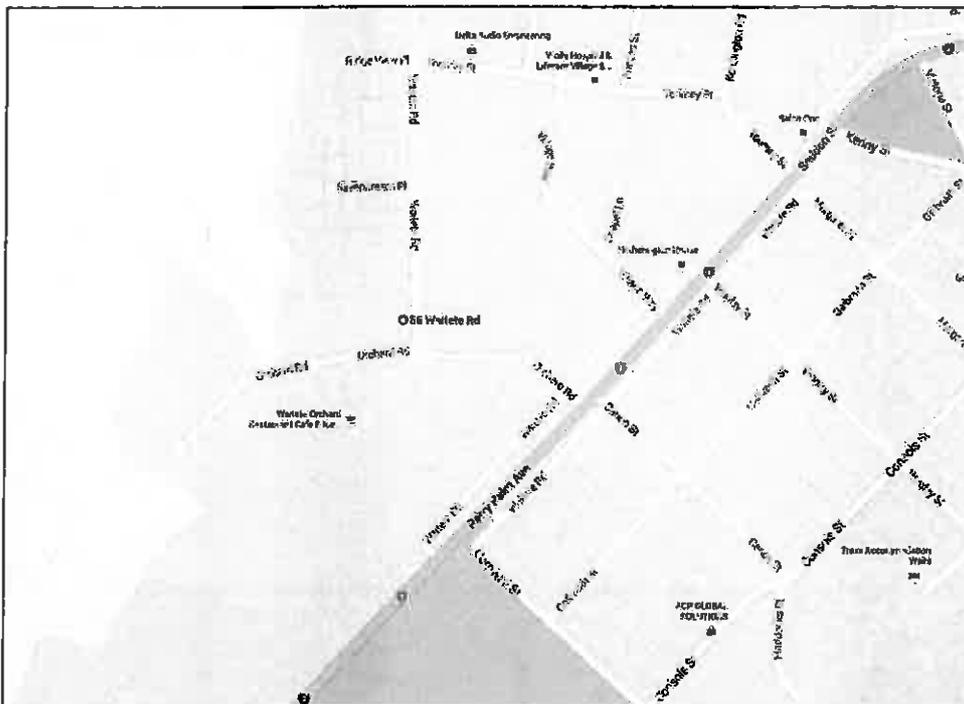


Figure 1.0: Location of 56 Waitete Road, Waihi. Total site area approximately 805m² (Google maps)

3. PROPOSED DEVELOPMENT

Proposed concept drawings prepared by J2 Homes dated 12 April 2016 show a single storey residential dwelling (approx. 174sqm). The dwelling will have a concrete type slab on grade floor with brick cladding, heavy weight. Roofing cladding will be concrete tile roofing (heavy weight).

With regard to Sewage and Stormwater it is to be disposed of via council reticulation.

4. SITE GEOLOGY

The geology of the Coromandel Peninsula¹ is older than the rest of the surrounding area, with the basement greywacke sandstone laid down during the late Jurassic period approximately 150 million years ago. Approximately 10 to 20 million years ago, during the Miocene period, periodic andesitic eruptions dominated the area. These andesitic eruptions are part of the Coromandel Group and are subdivided into four phases / subgroups ordered by age and distribution, with older volcanism to the north, and younger to the south.

The Waihi Township is mostly underlain by welded pumice rich ignimbrites of the Ohinemuri Subgroup which formed approximately 9 million years ago, during the later phase of the volcanic activity in the Coromandel Peninsula, with large rhyolitic eruptions of the Whitianga formation formed large ignimbrite sheets and domes in the central and southern areas. The northern areas of the Waihi Township (and Martha mine) are located within the Waiwawa Subgroup andesite. To the east of Waihi, a mixture of alluvial deposits (Tauranga Group & Holocene) as well as volcanic deposits of the Whitianga Formation (Kaimai Subgroup and Minden rhyolite Subgroup) can be found.

In the vicinity of the site at 56 Waitete Road, we expect to find the site overlying the welded Ohinemuri Subgroup ignimbrites.

5. SOIL INVESTIGATION

A geotechnical investigation completed at 56 Waitete Road on 3rd of May 2016 consisted of four hand auger bore tests (HA1 to HA4), Four Shear Vane Tests (SV) conducted at depths intervals of 0.5m up to a depth of 3.0m (or total depth of cohesive soils below existing ground level), to assess the near-surface soil profile and bearing capacity respectively.

The site plan, with test results are summarized in Table 1.0 below, are shown in Appendix A.

Table 1.0: Summary of investigations

Test type/code	Depth of test (m)	Comments
Hand auger bore HA1 & HA4 HA2 & HA3	3.0 3.0	Refusal at 2.7/2.8m Target Depth
Shear Vane SV1 - SV4	(cohesive soils only)	Target Depth

¹ Geology of the Auckland Area

5.1 Subsurface Soil Profile

The Hand auger results to HA1 – HA4 revealed somewhat fairly uniform subsurface conditions to a depth of 3.0m below the current ground surface.

Table 2: Subsurface Conditions

Layer	Hand Auger	Range of depths	Description	Density
1	HA1-4	0 m – 0.3 m	Topsoil	N/A
2	HA1-3	0.4 m – 0.8/1.4/2.0 m	Light orange/yellow sandy SILT	Stiff
2	HA4	0.3 m – 1.2 m	Light orange/brown Silt	Stiff to very stiff
	HA2	0.8 m – 1.4 m		
3	HA3-4	1.2/1.4 m – 2.1/3.0m	Light brown/grey clayey Silt	Stiff to very stiff
3	HA1	2.0 m – 2.2 m	Light grey silty SAND	medium
4	HA2	1.4 m – 2.3 m	Light orange Silty Clay	stiff
4	HA4	2.1 m – 2.7 m	Light grey/orange sandy SILT – weathered rock	Very stiff to hard
5	HA1	2.5 m – 2.8 m	Weathered rock	Hard
5	HA2	2.3 m – 3.0 m	Light grey Clay	Very stiff

6. SOIL BEARING CAPACITY

6.1 Cohesive Soils

Shear vane testing was carried out at 0.5 m intervals in the silty soils at boreholes HA1 to HA4 to assess the soils' undrained shear strength and sensitivity to strength loss. The undisturbed strength is the resistance of the insitu soils to shear, whilst the re-moulded strength is the soils resistance to movement of the vane once the soil has been disturbed. Refer to Appendix A for soil investigation results and location plan.

Table 3: Summary of Shear Vane Test Results

Hand Auger Boreholes (HA1 to HA4)	Undrained Shear Strength (kPa)		Soil Sensitivity Ratio	Range of Peak Shear Strength values (kPa)
	Undisturbed	Remoulded		
Sandy SILT	134	12	11.16	64-213
SILT	115	15	7.6	115-213

Clayey SILT	152	21	7.23	137-213
Silty CLAY	73	36	2.0	73-122
Clay	-	-	-	213

From the shear vane tests as shown in Table 3 using the highest ratio between undrained shear strength and the remoulded, we have determined that the cohesive soils are *moderate - sensitive* to loss of strength. This loss of strength is only a concern for sloping sites when this material is put under stress due to a seismic event.

From Prandtl (1920), the geotechnical ultimate bearing capacity can be assessed from the undisturbed undrained shear strength values in table 4.2 by adopting the following equation:

$$q_{ult} = (2 + \pi) s_u = 5.14 s_u \quad \text{Where } q_{ult} = \text{geotechnical ultimate bearing capacity \& } s_u = \text{undrained Shear Strength}$$

The calculated geotechnical ultimate bearing capacity of the soil beneath the proposed new dwelling exceeds 300 kPa from 0.3 m bgl.

The ground water table was not encountered during the shallow soil investigation.

7. FOUNDATIONS

7.1 Results/Recommendations

Due to the underlying soil conditions it is my professional recommendation that:

Shear Vane Tests on the soil below the organic and soft material (0.6m) revealed the following bearing capacities in the underlying soils of at least:

- 300 kPa geotechnical ultimate bearing capacity (unfactored)
- 150 kPa dependable ultimate bearing capacity (strength reduction factor = 0.5)
- 100 kPa serviceability limit state bearing capacity (strength reduction factor = 0.33)

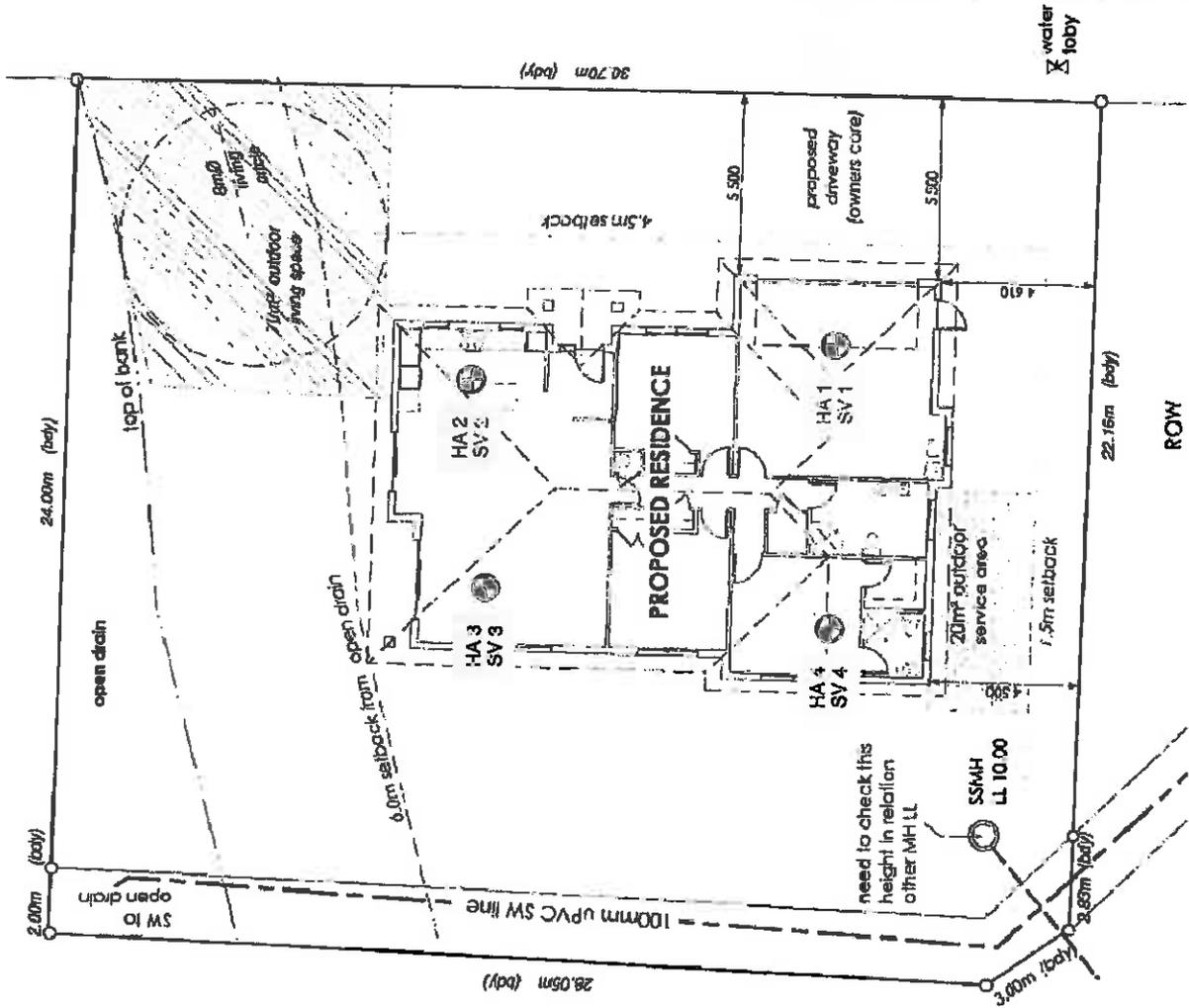
Foundations can be designed in accordance with NZS3604:2011 (300 kPa geotechnical ultimate bearing capacity) as long as the removal of organic matter and topsoil to at least 0.4 m below ground level (bgl) to 1.0m beyond the building platform is carried out prior to the placement of any fill and foundation preparation.

APPENDIX A

- Site Plan (SK-1)
- Shallow Test Results
- Shear Vane 3 calibration certificate



CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK



Note:
Test positions and boundaries are indicative only.

Legend:

- Test Locations
- HA - Hand Auger Locations
- SV - Slat Penetration Locations
- SV - Shear Vane Locations
- Bo - Boundary Locations

Site Plan was replicated from J2 Homes drawings dated 12 April 2016

No.	Date	Revision	By

Project	56 Waitete Road, Waiti	Client	HOMES VALUE & DESIGN	Title	SITE PLAN	Designed by	BM	Scale	Not to Scale
						Drawn by	BM	Job No.	162440
						Checked by	CM	Drawing No.	Pay.
						Date	18th May '16	SK - 1	A

SHEAR VANE & HAND AUGER RESULTS



Shear Vane:	SV1
Hand Auger:	HA1
Project No.:	162440
Date:	3 May 2016
Weather:	Fine
Operator:	RM & JB

Client: 56 Waitete Road
Site Address: 56 Waitete Road
Town/City: Waihi

Geological Formation:	Depth (m)	Sample Description:	Graphic:	USCS	Water Table	Undrained Shear Strength Su (kPa)	Geotechnical Ultimate Bearing Capacity (kPa)	
								200
	0.0	TOPSOIL brown organic silt, firm, dry		OL				0.0
	-0.5	SANDY SILT Light orange/yellow sandy Silt, stiff, dry		SM		67/12 134/18		-0.5
	-1.0	becoming moist, low plasticity				134/12		-1.0
	-1.5	pale brown/orange colour				70/18		-1.5
	-2.0	silty SAND light grey, silty sand, medium, moist		SM		152/27		-2.0
	-2.5	clayey SILT yellow/orange clayey Silt, very stiff, moist low plasticity, traces of sand		CL-ML		213		-2.5
	-2.5	Weathered Rock Mix of colours white, orange, yellow, grey weathered rock, hard, moist		WR		213 U.T.P		-2.5
	-3.0	EOH @ 2.8m U.T.P						-3.0
	-3.5	U.T.P = unable to penetrate						-3.5
	-4.0							-4.0
	-4.5							-4.5

Shear Vane and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

SHEAR VANE & HAND AUGER RESULTS



Shear Vane: SV2
Hand Auger: HA2
Project No.: 102040

Client: 56 Waitete Road
Site Address: 56 Waitete Road
Town/City: Waihi

Date: 3 May 2016
Weather: Fine
Operator: BM & JB

Geological Formation:	Depth (m)	Sample Description:	Graphic:	USCS	Water Table	Undrained Shear Strength S_u (kPa)	Geotechnical Ultimate Bearing Capacity (kPa)	
								200
	0.0	TOPSOIL brown organic silt, firm, dry		OL				0.0
	-0.5	Sandy SILT Light orange sandy Silt, stiff, dry becoming damp		SM		106/18		-0.5
	-1.0	SILT dull orange SILT, traces of sand very stiff, damp very stiff to hard similar to weathered rock		M		213		-1.0
	-1.5	Silty CLAY Light orange silty clay, stiff, moist, moderate plasticity		CL-ML		73/36		-1.5
	-2.0	becoming moist, increase in plasticity orange & grey becoming wet, very stiff, indent with finger nail				122/52		-2.0
	-2.5	CLAY Light grey clay, very stiff, damp high plasticity, indent with finger nail		CL		213		-2.5
	-3.0	EOH @ 3.0m				213		-3.0
	-3.5						Shear Vane and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.	
	-4.0							
	-4.5							

SHEAR VANE & HAND AUGER RESULTS



Shear Vane: BV1
 Hand Auger: HA3
 Project No.: 102440

Client: 56 Waitete Road
 Site Address: 56 Waitete Road
 Town/City: Walhi

Date: 3 May 2016
 Weather: Fine
 Operator: BM & JB

Geological Formation:	Depth (m)	Sample Description:	Graphic:	USCS	Water Table	Undrained Shear Strength Su (kPa)	Geotechnical Ultimate Bearing Capacity (kPa)	
								200
	0.0	TOPSOIL brown organic silt, firm, dry		OL				
	-0.5	Sandy SILT Orange/brown sandy SILT, stiff to very stiff, damp becoming moist		SM		64/18		
	-1.0	sandier layer 100mm				198/49		
	-1.5	clayey SILT Light brown/grey clayey silty, stiff to very stiff, very similar to weathered rock material		CL-ML		213		
	-2.0	stiff to hard - weathered rock 2.0-3.0m no plasticity				U.T.P		
	-2.5	U.T.P = unable to penetrate				U.T.P		
	-3.0	EOH @ 3.0m				U.T.P		
	-3.5							
	-4.0							
	-4.5							

Shear Vane and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

SHEAR VANE & HAND AUGER RESULTS



Shear Vane: 8V4
 Hand Auger: 14A4
 Project No.: 182444

Client: 56 Waitete Road
 Site Address: 56 Waitete Road
 Town/City: Waihi

Date: 3 May 2016
 Weather: Fine
 Operator: BM & JB

Geological Formation:	Depth (m)	Sample Description:	Graphic:	USCS	Water Table	Undrained Shear Strength S_u (kPa)	Ultimate Bearing Capacity (kPa)	
							0	200
	0.0	TOPSOIL brown organic silt, firm, dry		OL				0.0
	-0.5	SILT Light orange/brown silt, minor sand, stiff to very stiff, dry-damp		M		137/30		-0.5
	-1.0					115/15		-1.0
	-1.5	sandy silt layer clayey SILT Light brown clayey SILT, stiff - very stiff, moist, high plasticity, minor traces of sand		CL-ML		137/46 152/21		-1.5
	-2.0	moisture increase				167/30		-2.0
	-2.5	Sandy SILT Light grey/orange sandy SILT, friable, moist, very stiff to hard weathered rock 2.5-2.7m		SM		213		-2.5
	-2.7	EOH @ 2.7m U.T.P				U.T.P		-2.7
	-3.0	U.T.P = unable to penetrate						-3.0
	-3.5							-3.5
	-4.0							-4.0
	-4.5							-4.5

Shear Vane and Test Bore log tests give an indication of the ground condition at the location of the tests only. While they are representative of typical conditions across the site, they do not identify variations in the ground away from the test locations.

#SV3

14.03.2016



THE MEASUREMENT & CALIBRATION CENTRE a division of GEOTECHNICS LTD
 19 MORGAN STREET, NEWMARKET, AUCKLAND 1023
 P O BOX 9360, NEWMARKET, AUCKLAND 1149
 PH: 64 - 9 - 362 1720 TOLL FREE: 0508 223 444 FAX: 64 - 9 - 362 1729
 E - MAIL: enquiries@themcc.co.nz HTTP://www.themcc.co.nz

CALIBRATION CERTIFICATE

In-house Calibration Method 6.16
 Calibration Method for Hand Held Shear Vane Soil Testers

Customer: Kirk Roberts Consulting Engineers Ltd
 P O Box 13064
 Tauranga 3141

MCC Ref: 708069.08
 Vane S/No: 1952
 Range: 0-140
 Scale: 2 Divs
 Date: 11-Mar-16
 Page 1 of 2

Cust Ref:

SHEAR STRENGTH CONSTANT (kPa/DIV) = 1.520 Area Ratio 23.9

Divisions	kPa	Divisions	kPa	Divisions	kPa	Divisions	kPa
1	2	36	55	71	108	105	161
2	3	37	56	72	109	107	163
3	5	38	58	73	111	108	164
4	6	39	59	74	112	109	166
5	8	40	61	75	114	110	167
6	9	41	62	76	115	111	169
7	11	42	64	77	117	112	170
8	12	43	65	78	119	113	172
9	14	44	67	79	120	114	173
10	15	45	68	80	122	115	175
11	17	46	70	81	123	116	176
12	18	47	71	82	125	117	178
13	20	48	73	83	126	118	179
14	21	49	74	84	128	119	181
15	23	50	76	85	129	120	182
16	24	51	78	86	131	121	184
17	26	52	79	87	132	122	185
18	27	53	81	88	134	123	187
19	29	54	82	89	135	124	188
20	30	55	84	90	137	125	190
21	32	56	85	91	138	126	191
22	33	57	87	92	140	127	193
23	35	58	88	93	141	128	195
24	36	59	90	94	143	129	196
25	38	60	91	95	144	130	198
26	40	61	93	96	146	131	199
27	41	62	94	97	147	132	201
28	43	63	96	98	149	133	202
29	44	64	97	99	150	134	204
30	46	65	99	100	152	135	205
31	47	66	100	101	153	136	207
32	49	67	102	102	155	137	208
33	50	68	103	103	157	138	210
34	52	69	105	104	168	139	211
35	53	70	108	105	160	140	213

COMMENT : The chart refers to the outer scale of the Geovane and the kPa is calculated for the 19mm blade.
 The estimated measurement uncertainty expressed at the 95% confidence level is 5.3 kPa.
 All instruments used are calibrated and traceable to New Zealand national standards.
 Calibrations are only valid for the Vane Head and Blade combination identified in this report.

Temperature during test 18.0 to 19.0 °C

Date Calibrated: 11-Mar-16
 Calibration Due: 11-Mar-17

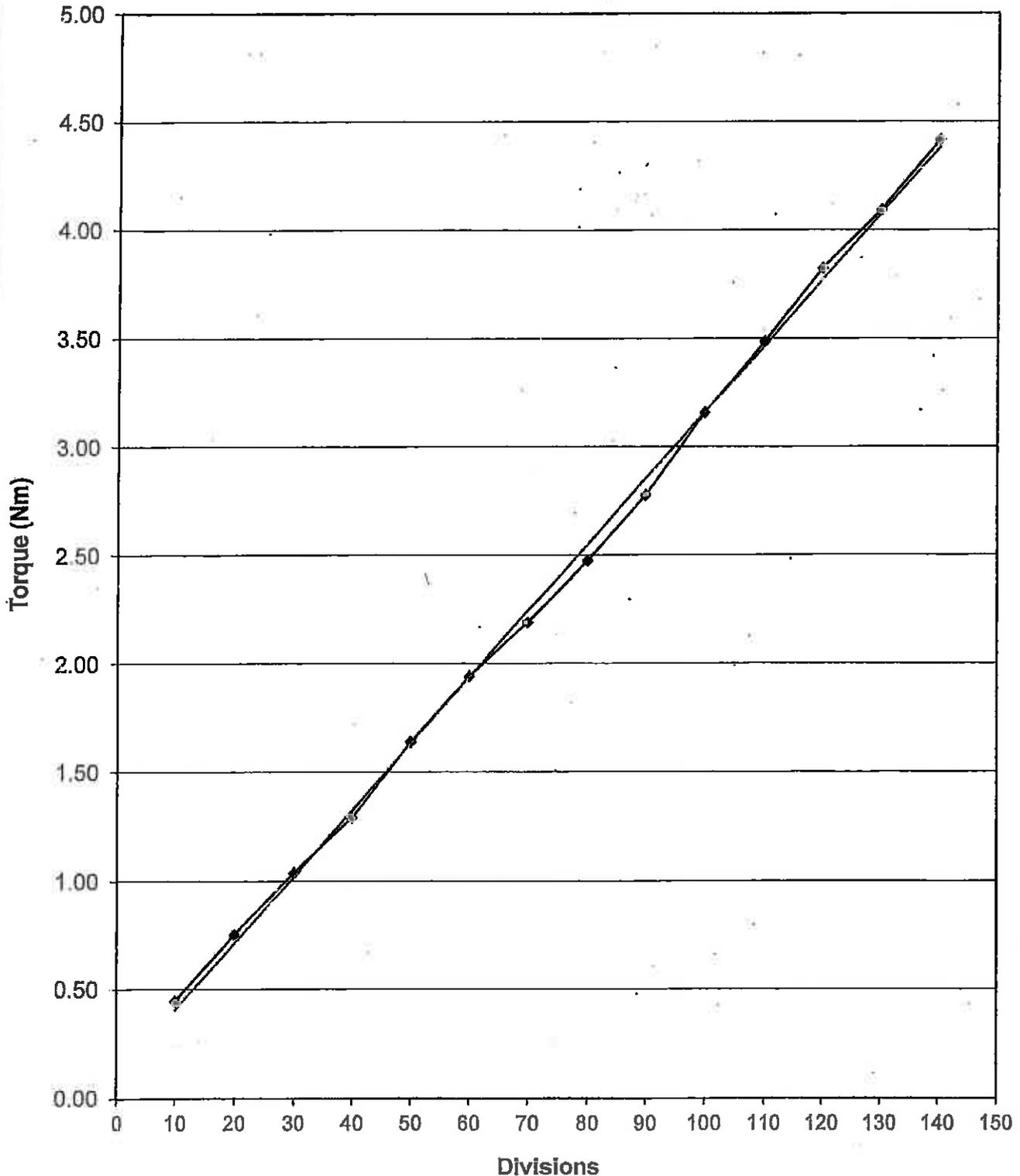
IANZ Authorised Signatory: *Ally*
 Calibrated By: *[Signature]*



All measurements reported herein have been performed in accordance with the laboratory's scope of accreditation

Hauraki District Council Approved Consent Document - BC-101-2016-00002068-001 - 18/10/2016 - Page 27 of 207

MCC SHEAR VANE CALIBRATION
Kirk Roberts Consulting Engineers Ltd - 1952
11 March 2016



Decision Sheet

Resource Management Act 1991

Event number: SUBD-201.2012.00000025.001

Decision number: 2012/13 - 36

Applicant: J G & B B Thomas

Document reference: FRED Doc 966112

Subject: To cancel Consent Notices in relation to DP 421991.

Decision:

- A. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council agree to cancel the following consent notice condition (contained in 8702419.4 as required by condition 9 of subdivision consent 2009/2010-18) imposed on the titles of Lots 1 and 2 DP 421991:

That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of each lot advising that if the lot is further subdivided each additional lot created will be required to pay a capital contribution of \$2046 plus GST towards extending the sewer reticulation.

NOTE: The consent notice shall remain on Lots 3 and 4 DP 421991.

- B. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council agree to cancel the following consent notice condition (contained in 8702419.4, as required by condition 17 of subdivision consent 2009/2010-18) imposed on the title of Lots 1 and 2 DP 421991 only:

That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of each lot advising that specific foundation design by a suitably qualified engineer is required for the construction of buildings on the lot.

NOTE: The consent notice shall remain on Lots 3 and 4 DP 421991.

- C. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council agree to cancel the following consent notice condition (contained in 8702419.5, as required by condition 10 of subdivision consent 2009/2010-18) imposed on the title of Lot 1 DP 421991 only:

That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 1 and 4 that stormwater from the lot shall be disposed of by a piped system to the existing open drain or stream located within the Lot or by an alternative on-site system as designed by a suitably qualified person in accordance with the requirements of the New Zealand Building Code E1.

NOTE: The consent notice shall remain on Lot 4 DP 421991.

- D. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council cancel the following consent notice condition (contained in 8702419.6 as required by condition 11 of subdivision consent 2009/2010-18) imposed on the title of Lot 2 DP 421991 only:

That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 2 and 3 that stormwater from the lot shall be disposed of by a piped system to the existing open drain or stream located within Lot 4 or by an on-site system as designed by a suitably qualified person in accordance with the requirements of the New Zealand Building Code E1.

NOTE: The consent notice shall remain on Lot 3 DP 421991.

- E. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council agree to cancel the following consent notice condition (contained in 8702419.3 as required by condition 13 of subdivision consent 2009/2010-18) imposed on the title of Lot 1 DP 421991 only:

That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 1, 3 and 4 advising that no buildings are permitted within a distance of 6 metres from the top of the banks of the open drain or stream located within Lots 1 and 4.

NOTE: The consent notice shall remain on Lots 3 and 4 DP 421991.

- F. That pursuant to Section 221(3) of the Resource Management Act 1991, Hauraki District Council agree to cancel the following consent notice condition (contained in 8702419.8 as required by condition 19 of subdivision consent 2009/2010-18) imposed on the title of Lot 2 DP 421991:

Consent Notice 8702419.8

That pursuant to Section 221 of the Resource Management Act 1991 a consent notice be registered on the title of Lot 2 advising that no vehicular access may be obtained from Waitete Road.

Date: 9th October 2012

SIGNED:



Decision Sheet

Resource Management Act 1991

Event number: SUBD-201.2012.00000025.001

Decision number: 2011/12 - 119

Applicant: J G & B B Thomas

Document reference: FRED Doc 882617

Subject: a) Extend processing time.
b) To subdivide Lots 1 & 2 DP 421991, Orchard Road & Waitete Road, Waihi to create four residential lots.

Decision:

Under the Resource Management Act 1991 the Council hereby extends the time frame to make a decision to the subdivision application to subdivide Lots 1 & 2 DP 421991, Orchard Road & Waitete Road, Waihi to create four residential lots. This extension has been granted on the basis that special circumstances apply. These circumstances relate to the applicant needing to provide an amended scheme plan and for this scheme plan to be assessed thoroughly, with the agreement of the applicant and having taken into account the matters in Section 37A (1) (a-c). The decision date has been extended from 24th April 2012 to 2nd May 2012.

That pursuant to Sections 104 and 104A of the Resource Management Act 1991 the Hauraki District Council **grant consent** to this non-notified Controlled Activity application to subdivide Lots 1 and 2 DP 421991 into four residential lots at Orchard Road and Waitete Road, Waihi, for the reasons:

- The proposal complies with the rules for Controlled Activity subdivision
- There would not be any adverse effects of the activity on the environment of a more than minor nature

Subject to the following conditions

1. That the subdivision is carried out in general accordance with the scheme plan by G J D Harder, file reference 12/5A, dated March 2012, which has been signed and stamped approved.

Water

2. That the consent holder shall provide each Lot with a separate metered water connection at the road frontage in accordance with the requirements of Hauraki District Council Engineering Manual 2010 - version 1: Volume 3, Part 6 and performance standards in part 8.5.3.3 of the Proposed District Plan. The meters shall be placed on the road frontage just inside the road reserve, approximately 0.5m from the property

boundary. The connections, including meters, are to be installed by Hauraki District Council at the cost of the consent holder.

Sewer

3. That the consent holder shall provide Lots 2 and 4 with separate sewer connections. The length of sewer passing through Lots 1, 2 and 3 to serve Lot 4 shall become a public sewer and it shall be constructed in accordance with the requirements of Hauraki District Council Engineering Manual 2010 - version 1: Volume 2, Part 5 and Volume 3, Parts 4 & 5, and in accordance with the performance standards in part 8.5.1.3 of the Proposed District Plan (2010). The connections shall be end capped and marked within the body of the lot. The connections to the Council main are to be installed by Hauraki District Council at the cost of the consent holder or by a registered drainlayer approved by Council.
4. That the consent holder shall pay a capital contribution of \$4,052.00 plus GST for the right to connect Lots 2 and 4 into the Waitete Trunk Sewer Main.

Stormwater

5. That Lot 2 shall be provided with a piped stormwater connection to the stream on Lot 4 in accordance with the requirements of Hauraki District Council Engineering Manual 2010 - version 1: Volume 2, Part 4 and Volume 3, Part 4, and the performance standards in part 8.5.4.3 of the Proposed District Plan (2010), including:
 - The installation of a 100mm diameter stormwater pipe located within the proposed easement.
 - The upstream end of this connection to be end capped and staked within Lot 2.
 - The downstream end to be suitably armoured to avoid future blockage or damage.

Access

6. That a Class E Standard Residential Vehicle Entrance be constructed at the access leg entrance to Lot 3, as specified in part 8.4.3 of the Proposed District Plan (2010) and clause 3.11 Hauraki District Council Engineering Manual 2010 - Version 1.
7. That pursuant to section 221 of the Resource Management Act 1991 a consent notice shall be registered on the Computer Freehold Register of Lot 2 to advise that a vehicular access is not permitted off Waitete Road.

General Engineering

8. That pursuant to section 221 of the Resource Management Act 1991 a consent notice shall be registered on the Computer Freehold Register of Lots 2, 3 and 4 to advise that specific engineering designs by an approved Chartered Professional Engineer are required at the time of building consent for all earthworks and foundations.
9. That pursuant to section 221 of the Resource Management Act 1991 a consent notice shall be registered on the Computer Freehold Register of Lots 3 and 4 to advise that buildings are not permitted within six metres from the top of the stream bank.
10. That engineering drawings and specifications covering all engineering works shall be submitted to the Manager of Planning and Environmental Services for consideration and acceptance by the Manager of Engineering Services prior to commencement of any work.

11. That copies of As-built plans shall be submitted to Council upon completion of construction as per Hauraki District Council Engineering Manual 2010 - version 1, Volume 3, section 18. As-built drawings and related verification documentation of all works are to comply with Volumes 3 and 4 of the Hauraki District Council Engineering Manual 2010 - version 1. The requirements are:

- As-built information shall include an electronic copy of the as-built drawings in dxf format and is to be provided on CD/ DVD or via email.
- All utility features positioning shall comply with the Hauraki District Council Engineering Manual 2010 - version 1: Volume 2, Part 1, section 1.3.
- As part of the As-built documentation a detailed inventory of the new assets constructed as part of this consent shall be provided. Inventories are available from Technical Services, Hauraki District Council in the required spreadsheet format.

12. The consent holder shall appoint a representative in respect of engineering works through whom all correspondence relating to engineering matters will be undertaken by Council.

Administrative

13. That pursuant to Section 36(1)(b) of the Resource Management Act 1991, the applicant shall pay Hauraki District Council charges for receiving, processing and granting the Resource Consent.

14. That pursuant to Section 36(1)(c) of the Resource Management Act 1991 the applicant shall pay Hauraki District Council an administration fee of \$95.00 for administration of the consent.

15. That pursuant to Section 36(1)(c) of the Resource Management Act 1991 the applicant shall pay all Hauraki District Council's costs for monitoring this consent including all costs associated with the consideration and certification of plans and details associated with the consent as appropriate.

Advice Notes:

- The consent holder shall pay a total \$12,384 plus GST as a capital development contribution for two additional residential lots in accordance with the Development Contributions Policy (1st July 2009).

Roading	District Parks	Community Infra-Structure	Libraries	Water Supply	Waste water	Storm water
\$4,600	\$ 716	\$ 854	\$382	\$2,564	\$2,462	\$806
TOTAL					\$12,384	

- Twenty-four hours notice must be given for the entrance engineering inspections that are required to be undertaken during engineering works. The letter giving acceptance to the Design Plans will indicate the inspections required. All requests in this regard must be directed to the Development Engineer on 07-8625609 (MOB 021 906244).
- Any work undertaken in the road reserve will require a street opening permit and associated traffic management plan. This must be submitted for approval 10 working days prior to the

commencement of any works. All enquiries in this regard must be directed to the Technical Services Business Unit Support Officer on 07-862 8609 (MOB 021 906244).

- Please note that your street address may change as a result of the subdivision of your property. You will be advised at a later date if this is to be the case. Hauraki District Council follows the standard New Zealand regulation governing the numbering of all rural and urban properties. This is to ensure the effective and efficient delivery of services and amongst them, emergency services such as fire, ambulance and police etc.. Should you have any further queries regarding this matter, please contact the Hauraki District Council.

Date: 30th April 2012

SIGNED:

A handwritten signature in black ink, appearing to read 'P. K. ...', is written over a horizontal line within a rectangular box.

Land District
South Auckland

Plan No455508

Territorial Authority (the Council)
Hauraki District Council

HDC Ref SUBD-201.2012.00000025.001

Certificates under the Resource Management Act 1991

Pursuant to the Resource Management Act 1991 I hereby certify that:

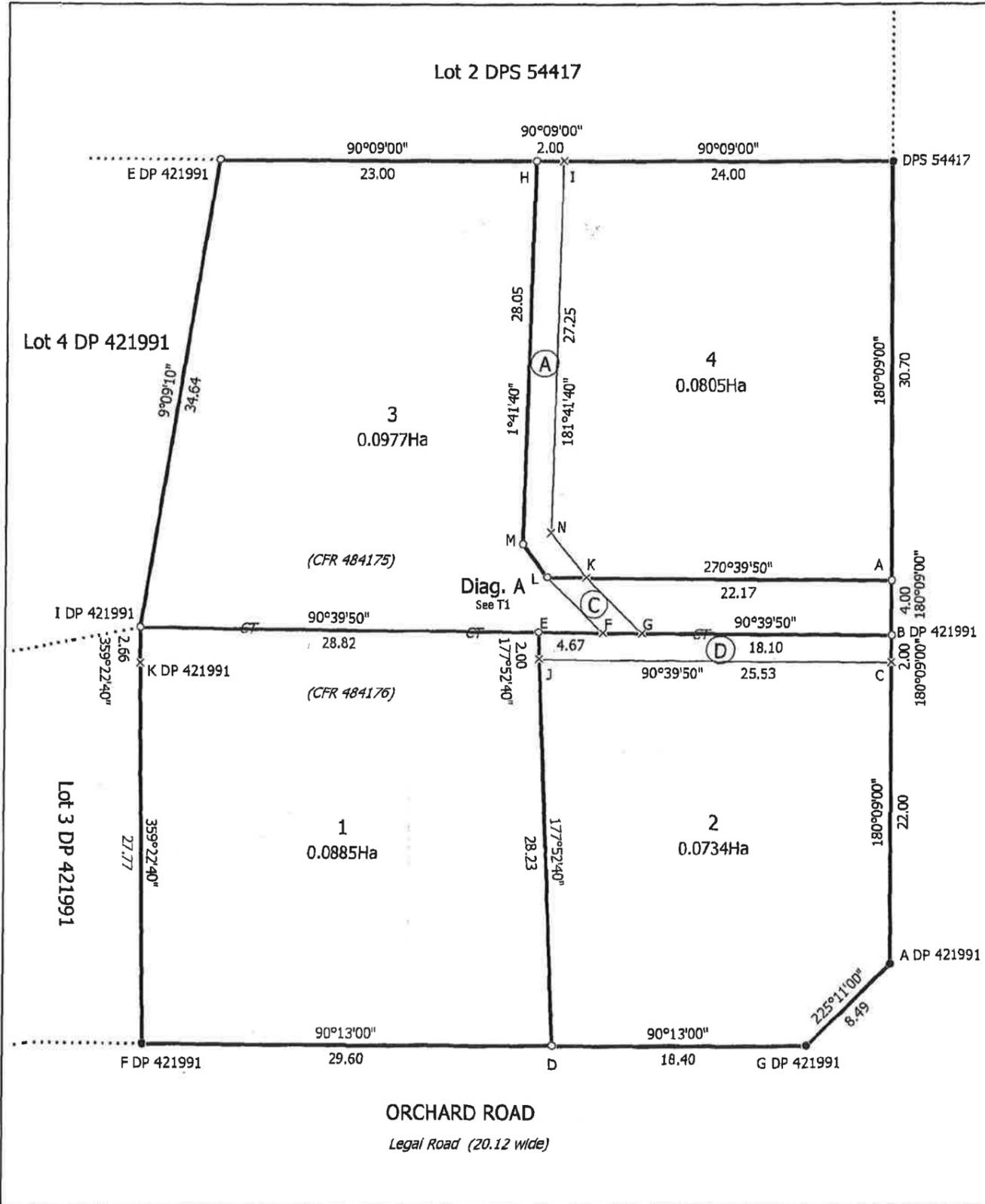
The above plan was approved by the Council pursuant to Section 223 of the Resource Management Act 1991 on the 1st day of August 2012

The approval of Council under Section 223 of the Resource Management Act 1991 is subject to the creation of the easement(s) set out in the Memorandum of Easements on the attached Annexure Schedule

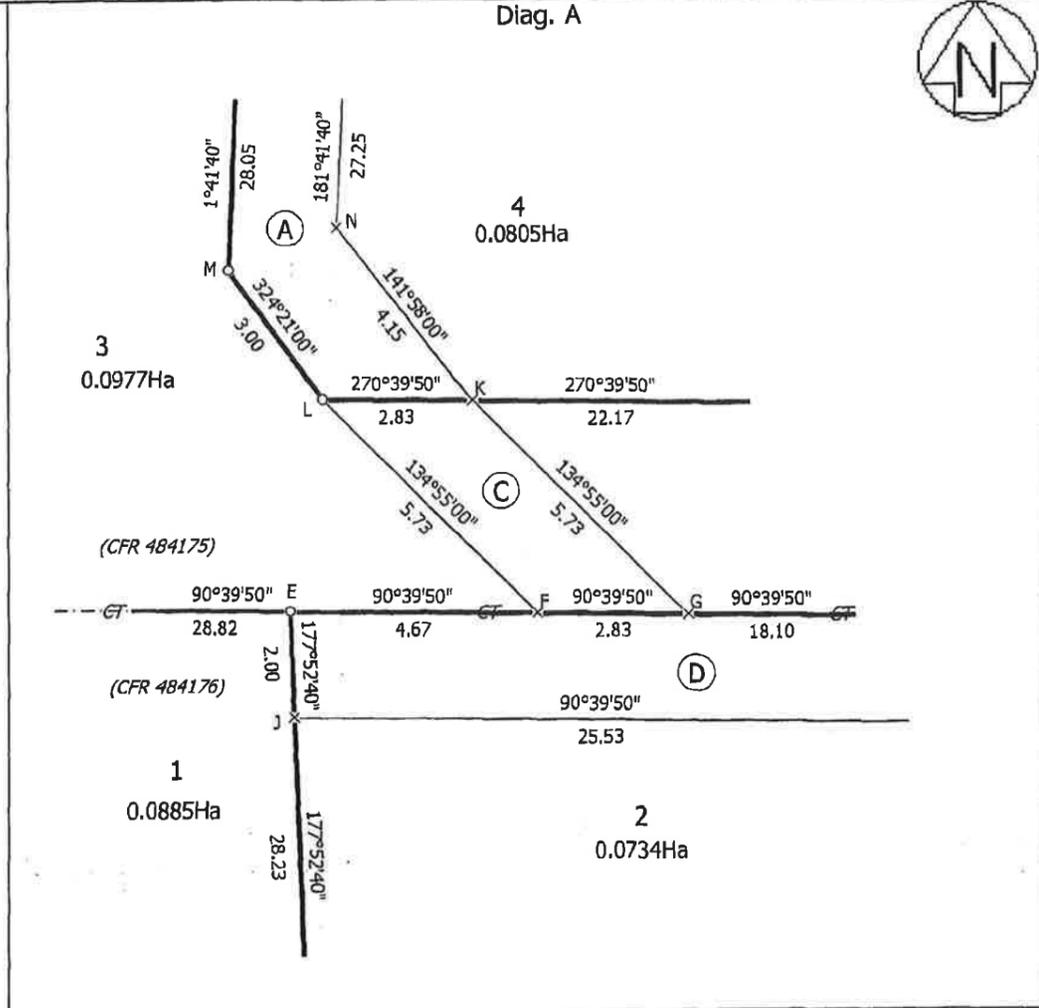
Dated this 1st day of August 2012

Principal Administrative Officer/Authorised Officer





WAITETE ROAD
Legal Road (20.12 wide)



Memorandum of Easements

Purpose	Shown	Serv. Ten.	Dom. Ten.
Right to drain Water	A	Lot 4	Lot 2
Right to drain Water	C	Lot 3	Lot 2
Right to transmit Electricity, Telecommunications & Computer Media	D	Lot 2	Lot 1

New CFR's Allocated:
 Lot 1 CFR586280
 Lot 2 CFR586281
 Lot 3 CFR586282
 Lot 4 CFR586283

Lots 1 - 4 Class A Surveys T 1/1

Land District: South Auckland
 Digitally Generated Plan
 Generated on: 06/07/2012 4:09pm Page 1 of 1

Lots 1,2,3 & 4 being Subdivision of Lots 1 & 2 DP 421991

Surveyor: Graeme James David Harder
 Firm: GJD & LV Harder Ltd (Katikati)

CSD Plan
 LT 455508

RC: 15590

RECEIVED

15 AUG 2012
 Dec. 933381
 HAURAKI DISTRICT COUNCIL

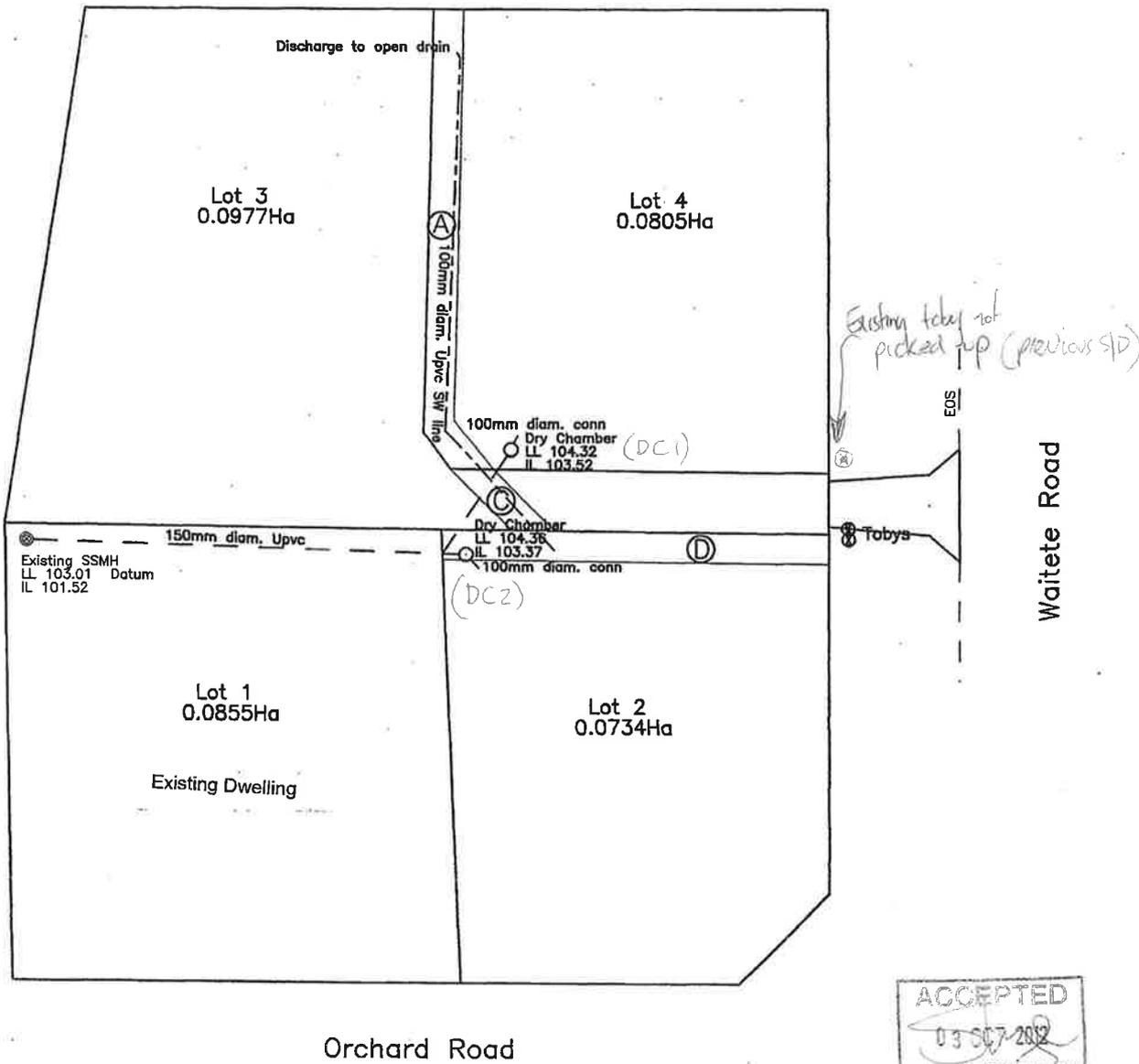


Asbuilt coordinates in TM Projection

Description	Northing	Eastng
Dry chamber lot 2	5857528.5	1850194.0
SS conn lot 2	5857527.6	1850194.8
Dry chamber lot 4	5857535.4	1850197.0
SS conn lot 4	5857536.3	1850197.4
Toby conn lot 2	5857529.5	1850219.3
Toby conn lot 3	5857530.2	1850219.3
SW conn lot 2	5857527.6	1850199.8
SW pipeline angle lot 4	5857536.7	1850192.7
SW conn to open drain lot 4	5857561.7	1850193.6

Memorandum of Easements

Purpose	Shown	Serv. Ten.	Dom. Ten.
Right to drain water	A	Lot 4	Lot 2
Right to drain water	C	Lot 3	Lot 2
Right to transmit	D	Lot 2	Lot 1
Electricity & Telecommunications & computer media			



ACCEPTED
 03 OCT 2012
 HAURAKI DISTRICT COUNCIL

As marked

Thomas Subdivision Waitete Rd Waihi
 Asbuilt Drawings

Scale: 1:300 A3
 Date: 14 AUG 2012
 Surv/Des.
 Approved.

JWO Consulting

21 Athenree Road
 RD 1 Katikati
 Ph. (07) 863 5 036
 Mob. (027) 33440088
 Fax (07) 863 5 031

Job No.
J52
 Sheet Of

***Hauraki
District Council***

Section 224 (C) Certificate

IN THE MATTER: of the Land Transfer Act 1952

AND

IN THE MATTER: of Deposited Plan DP455508

AND

IN THE MATTER of Section 224(c) of the Resource
Management Act 1991

Pursuant to Section 224(c) of the Resource Management Act 1991, I hereby certify that some of the conditions of the subdivision consent have been complied with to the satisfaction of the Hauraki District Council and a consent notice has been issued in respect of those conditions that have not been complied with.

Dated at Paeroa this 30th day of October 2012



Authorised Officer

HAURAKI DISTRICT COUNCIL

(Consent Notice Pursuant to Section 221
Resource Management Act 1991)

IN THE MATTER of Deposited Plan 455508

AND

IN THE MATTER of subdivision Consent of plan
DP 455508 pursuant to Sections 104,104A, 220 and 221 of
The Resource Management Act 1991.

Pursuant to Sections 221(1) of the Resource Management Act 1991 the Hauraki District Council by resolution passed on the 30 day of April 2012 imposed the following conditions on the subdivision consent for Deposited Plan 455508

That for lot 2 vehicle access is not permitted from Waitete Road.

That for lots 2, 3 & 4 specific engineering designs by an approved Chartered Professional Engineer are required at the time of building consent for all earthworks and foundations.

That for lots 3 & 4 that buildings are not permitted within six metres from the top of the stream bank.

Dated this 30th day of October 2012.



Chief Executive/Authorised Officer

Ref No: RC-15590 Doc 504511
Date: 10th August 2009



Resource Management Act 1991

EVENT NO: RC-15590
DECISION NO: 2009/2010-18
APPLICANT: J G & B B Thomas
SUBJECT: To subdivide Lot 3 DPS 54417, Orchard Road, Waihi into four residential lots.

DECISION:

That pursuant to Section 104B of the Resource Management Act 1991 the Hauraki District Council **grant consent** to this non-notified discretionary activity application to subdivide Lot 3 DPS 54417 into four residential allotments located at Orchard Road, Waihi, on the grounds that:

- The departure from the District Plan performance standard on corner splays is acceptable.
- Adverse effects on the existing character and amenities of the area may be disregarded as the land is zoned for residential development in the District Plan and the proposal is consistent with such development.
- The proposal is not expected to have other adverse effects on the environment that would be more than minor, providing the following conditions are complied with.

Subject to the following conditions:

General

1. That the subdivision shall be carried out generally in accordance with the scheme plan drawn by G J D Harder dated January 2009, reference 09/6, which has been signed and stamped approved.
2. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the title of Lot 4 advising that floor levels of habitable buildings shall be a minimum of 0.5 metres above the 02 AEI Flood Level.
3. That mitigatory landscaping be carried out on the road reserve adjacent to the western boundary, to the satisfaction of the Manager of Planning and Environmental Services. The planting shall be for a minimum width of 5m along the length of the road reserve fronting the subdivision, to match the vegetation plantings up and downstream (such as Cabbage Trees, Flax, Hebes, Kowhai). A plan shall be submitted for approval prior to planting. (It is noted that all but the "triangle" between Orchard Road and the side stream, through proposed Lot 4, has already been planted).

Power and telephone

4. That each lot shall be provided with a connection to electric power and telephone reticulations, and written confirmation shall be submitted from the respective supply authorities that any required work has been carried out.

Water

5. That the subdivider shall reticulate the subdivision for water supply. Each lot shall be provided with a separate metered connection, at the road frontage, in accordance with NZS 4404:2004 and Performance Standard 9.3.9 of the District Plan. The meters shall be placed on the road frontage just inside the road reserve, within 0.5m of the property boundary. The connections to the Council mains are to be installed by Hauraki District Council at the cost of the subdivider.
6. That the subdivider shall install an additional fire hydrant to serve the subdivision in accordance with NZS 4404:2004. The new hydrant shall be located midway between the existing hydrants located on Orchard Road.

Sewer

7. That the subdivision shall be reticulated for sewage disposal in accordance with the requirements of NZS 4404:2004 and performance standard 9.3.7 of the District Plan. Each lot shall be provided with a connection in the body of the lot. The connections to the Council mains are to be installed by Hauraki District Council at the cost of the subdivider.
8. That the subdivider shall pay a capital contribution of \$2046 plus GST per lot for 4 lots (\$9,207 in total including GST) towards the cost of extending the sewer reticulation.
9. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of each lot advising that if the lot is further subdivided each additional lot created will be required to pay a capital contribution of \$2046 plus GST towards extending the sewer reticulation.

Stormwater

10. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 1 and 4 that stormwater from the lot shall be disposed of by a piped system to the existing open drain or stream located within the Lot or by an alternative on-site system as designed by a suitably qualified person in accordance with the requirements of the New Zealand Building Code E1.
11. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 2 and 3 that stormwater from the lot shall be disposed of by a piped system to the existing open drain or stream located within Lot 4 or by an on-site system as designed by a suitably qualified person in accordance with the requirements of the New Zealand Building Code E1.
12. That the following easements shall be created:

Purpose	Servient Tenement	Dominant Tenement
Right to drain water	Lot 4	Lot 3
Right to drain water	Lot 3 or Lots 3 & 4 or 1 & 4	Lot 2

Setback

13. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of Lots 1, 3 and 4 advising that no buildings are permitted within a distance of 6 metres from the top of the banks of the open drain or stream located within Lots 1 and 4.

Earthworks

14. That the subdivider shall install appropriate silt retention devices as necessary to secure the site to prevent silt contamination of waterways to the satisfaction of the District Engineer. The methods used should be generally in accordance with the requirements of Environment Waikato as described in *Design Guidelines for Earthworks, Tracking & Crossings*, as revised in September 2003.

15. That the existing stockpiles of topsoil and spoil located on Lots 1, 2 and 3 are redistributed over the lots or removed from site to a consented location.
16. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the title of Lot 4 to advise that there are areas of un-engineered fill on each side of the open drain or stream on the lot corresponding to a former ponding area as shown on the site plan drawn by G L Harder, dated January 2009.
17. That a consent notice pursuant to Section 221 of the Resource Management Act 1991 shall be registered against the titles of each lot advising that specific foundation design by a suitably qualified engineer is required for the construction of buildings on the lot.

Roading

18. That Lot 5 at the intersection of Orchard Road and Waitete Road shall be vested in Council as Road and shall be created in accordance with the standard specified in section 9.3.14.3 of the District Plan. In this case the appropriate standard is the 6.0 metre splay (Residential and Industrial Heavy zones).
19. That pursuant to Section 221 of the Resource Management Act 1991 a consent notice be registered on the title of Lot 2 advising that no vehicular access may be obtained from Waitete Road.
20. That the subdivider upgrade the northern side of Orchard Road (along the frontage of the subdivision from the intersection with Waitete Road to 10 metres west of the common boundary of Lots 3 and 4, from Rural to Residential standard in accordance with NZS4404:2004, including the following:
 - Upgrading of half of Orchard Road from a 2m wide (as measured from the centreline of the road) rural road to a 3m wide (as measured from the centreline of the road) urban road with kerb and channel edging.
 - Associated stormwater management to the satisfaction of the District Engineer.
 - Footpath improvements along Orchard Road.
21. That \$7000 plus GST (\$7875 including GST) shall be paid to Council as a Capital Contribution towards the upgrading of Street Lights on Orchard Road.

Engineering General

22. That engineering drawings and specifications covering all engineering works shall be submitted to the Manager of Planning and Environmental Services for consideration and acceptance by the District Engineer prior to commencement of any work.
23. That copies of As-built plans shall be submitted to Council upon completion of construction. As-built drawings of all works are to comply with NZS 4404:2004, Schedule 1D, and all normal requirements as per Section 1.5.2. Section 2.11 is to be complied with for any geotechnical works. As-built information shall include an electronic copy of the as built drawings in dxf format and is to be provided on CD/ DVD. The format of this information is as per the requirements of the Hamilton City Development Manual Volume 4 Part 9 Appendix 7. This is available from:

http://hamilton.co.nz/page/pageid/2145835108/HCC_Development_Manual

Attention is drawn to the requirement for co-ordination of all utility features. All co-ordinates are to be presented in New Zealand Transverse Mercator Projection (NZTM2000). The vertical datum used is to be indicated.

24. That included as part of the As-built plans the subdivider shall provide Council with a detailed inventory of the new assets (sewer and water utilities) constructed as part of this consent. This inventory shall include (as appropriate):

- Plant/ product specifications
- Component schedule (the component cost is not required)
- Estimate product design life

Note: The standard spread sheet template in electronic format is available from Technical Services, Hauraki District Council.

25. That the consent holder shall appoint a representative in respect of engineering works, through whom all correspondence, relating to engineering matters, will be undertaken by Council.
26. That pursuant to Section 36(1)(b) of the Resource Management Act 1991, the applicant shall pay Council charges for receiving, processing and granting the resource consent.
27. That pursuant to Section 36(1) (c) of the Resource Management Act 1991 the applicant shall pay an administration fee of \$95.00 for administration of the consent.
28. That pursuant to Section 36(1) (c) of the Resource Management Act 1991 the applicant shall pay all Council's costs for monitoring this consent including all costs associated with the consideration and certification of plans and details associated with the consent as appropriate.

Advice Notes:

- That the subdivider shall pay a total \$19,119 plus GST as a capital development contribution for three additional Lots, in accordance with the Hauraki District Council Development Contributions Policy (1st July 2008).
- No work may be undertaken on the sewer mains by private contractors.
- No work may be undertaken on the water mains by private contractors.
- Any soil spilled or tracked onto any public road during the earthworks and construction must be removed from the road immediately.
- Forty-eight hours notice must be given for any engineering inspections that are required to be undertaken during engineering works. The letter giving acceptance to the Design Plans will indicate the inspections required. All requests in this regard must be directed to the Consents Engineer, Steve Lye or alternatively the Business Unit Administrator, Janet Tee both, on 07-8625609.
- Any work undertaken in the road reserve will require a street opening permit and traffic management plan to be submitted for approval before work commences. Any enquiries regarding this procedure may be directed to Janet Tee at the Paeroa offices, Tel 07-862 8609.
- Please note that your street address may change as a result of the subdivision of your property. You will be advised at a later date if this is to be the case. Hauraki District Council follows the Standard New Zealand regulation governing the numbering of all rural and urban properties. This is to ensure the effective and efficient delivery of services and amongst them, emergency services such as fire, ambulance and police etc. Should you have any further queries regarding this matter, please contact the Hauraki District Council.

DATE: 10th August 2009



SIGNED:

Registration District
South Auckland

Plan No421991

Territorial Authority
Hauraki District Council

HDC Ref No RC-15590

Certificates under the Resource Management Act 1991

Pursuant to the Resource Management Act 1991 I hereby certify that:

The above plan was approved by the Council pursuant to Section 223 of the Resource Management Act 1991 on the 11th day of FEBRUARY 2010

The approval of Council under Section 223 of the Resource Management Act 1991 is subject to the creation of the easements set out in the Memorandum of Easements on the attached Annexure Schedule

Dated this 11th day of FEBRUARY 2010

Principal Administrative Officer/ Authorised Officer



Land Registration District
South Auckland

Plan Number DP421991

Territorial Authority
Hauraki District Council

HDC Ref: RC-15590

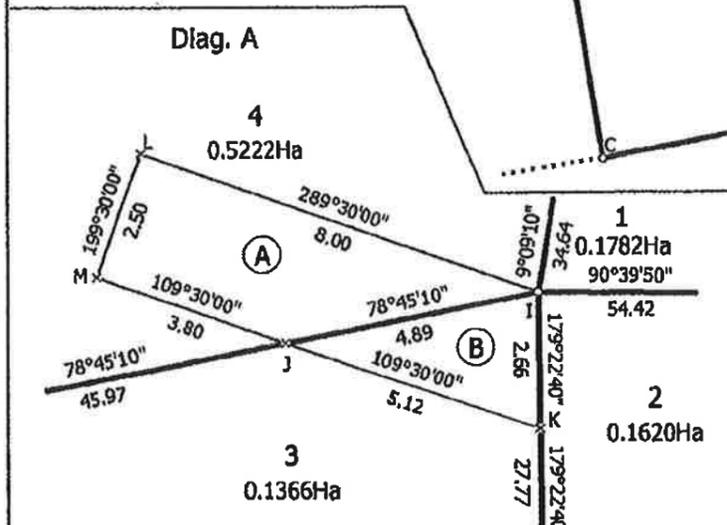
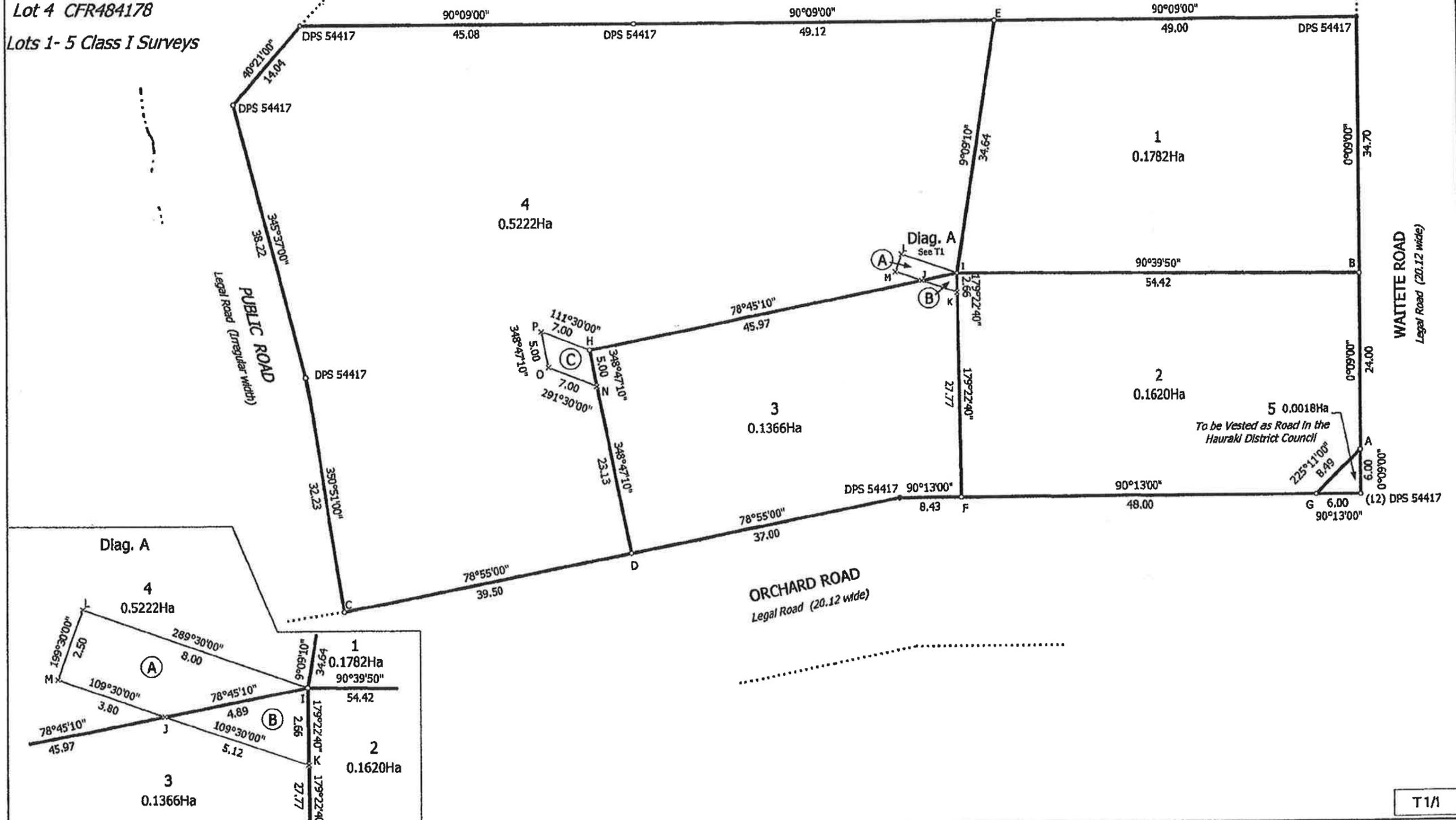
Memorandum of Easements (Pursuant to S 243 Resource Management Act 1991)			
Purpose	Ser. Tenement	Shown	Dom. Tenement
Right to drain water	Lot 4	A	Lot 2
“ “	Lot 3	B	Lot 2
“ “	Lot 4	C	Lot 3

Certifying parties must sign or initial this box



New CFR's Allocated:
 Lot 1 CFR484175
 Lot 2 CFR484176
 Lot 3 CFR484177
 Lot 4 CFR484178

Lots 1- 5 Class I Surveys



Land District: South Auckland Digitally Generated Plan Generated on: 20/01/2010 2:49pm Page 1 of 1	Lots 1 to 5 being Subdivision of Lot 3 DPS 54417	Surveyor: Graeme James David Harder Firm: GJD & LV Harder Ltd (Katikati)	Digital Survey Plan LT 421991
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T1/1



Drainage Bylaw 2019

Effective 1 September 2019



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Title	Drainage Bylaw 2019
Sponsor	Group Manager Engineering Services
Approved by	The Hauraki District Council
Adoption date	28 August 2019
Adoption Report	2614453
Review by	28 August 2029
Document reference	2614975
Property of the Hauraki District Council	

1.0 Introduction

1.1 Purpose

The purpose of the Hauraki District Council Drainage Bylaw is to put controls in place to ensure land and urban drainage is effective. The bylaw enables the Council to:

- protect and maintain the Council’s stopbanks, pumps and floodgates,
- protect and maintain Council drains in rural and urban areas,
- ensure drainage over private property is effective in both the rural and urban areas of the District.

1.2 Title

This bylaw is the Hauraki District Council Drainage Bylaw 2019.

1.3 Enabling enactments

This bylaw is made in accordance with section 517 of the Local Government Act 1974 and section 146 of the Local Government Act 2002.

1.4 Commencement

This bylaw comes into force on 1 September 2019.

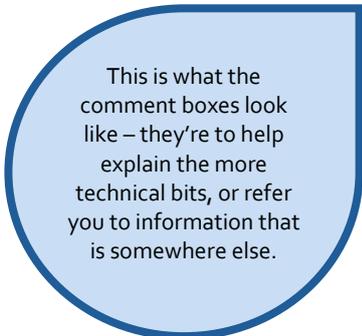
This bylaw revokes Part 7 (Land Drainage) of the Hauraki District Council Consolidated Bylaw 2007.

1.5 Review

The review of this bylaw will be undertaken no later than 10 years after the last review.

1.6 Related information

There is related information in comment boxes in this bylaw. Related information does not form part of this bylaw and may be inserted, changed or removed without any formality.



This is what the comment boxes look like – they’re to help explain the more technical bits, or refer you to information that is somewhere else.

2.0 Definitions

For the purposes of this bylaw the following definitions apply.

Authorised officer	means any person delegated, appointed or authorised in writing by the Council to act on its behalf.
Catchment	means an area of land from which surface and sub-surface water flows into streams, drains, rivers and wetlands.
Council	means the Hauraki District Council or any person delegated or authorised to act on its behalf.
Council drain	means every drainage channel (on or under the ground) or watercourse (such as a river or stream) vested in or under the management of the Council or constructed by the Council as a drainage channel.
Construct	means to build, and includes alter, reconstruct or extend.
Crossing	means any means by which any vehicle, livestock, or person may go over, through, or under any drainage channel or water course or defence against water and includes a bridge, culvert or ford.
Defence against water	includes any dam, weir, bank, carriageway, groyne, or reservoir, and any structure or appliance of whatsoever kind which has or may have the effect of stopping, diverting, controlling, restricting, or otherwise regulating the flow or spread or subsidence, in or out of a watercourse, of water including flood waters.
	Note: A defence against water includes stopbanks, flood gates and flood pumps, but does not include a drain.
District	means the Hauraki District.
Drainage channel or channel	in summary means every passage or channel on or under the ground through which water flows, continuously or otherwise and is under the control of the Council, or is constructed by the Council as a drainage channel.
	Note: This includes drains used for stormwater in urban areas.
Earthworks	means any activity that exposes, disturbs, places or deposits soil other than routine cultivation of soil up to a depth of 300 millimetres in preparation for sowing grass or crops.
Excavation	means the removal of soil other than boring or digging of holes up to 1.5 metres in depth for immediate placement of posts or piles, or driving posts or piles or the drilling of boreholes for subsoil or groundwater investigations.
Gateway	means an opening that may be closed by a gate.
Permit	means the written authority issued by the Council granting approval to operate or act in terms of this Bylaw.

Private drain	includes every passage, watercourse, or channel on or underground through which water flows continuously or otherwise, except a navigable river, constructed by or vested in an owner and not being a drain vested in or under the management of the Hauraki District Council or Waikato Regional Council.
	Note: A private drain could be a stormwater drain on an urban property or a drain on a rural property.
Stopbank	means an embankment bordering one or both sides of a drainage channel, watercourse, or the Firth of Thames to contain flows of water.
Structure	means any building, equipment, device, or other facility made by people and which is fixed to land; and includes any raft.
Watercourse	includes every river, stream, passage, and channel on or under the ground, whether natural or not, through which water flows, whether continuously or intermittently.
Watershed	is the boundary of a catchment or sub-catchment, and may include: <ul style="list-style-type: none"> a) any earthen dam; or b) any artificial control structure generally constructed of concrete or timber; or c) any floodgate; or d) any manually operated sluice gate; constructed with the approval of the Council to divert the flow of water.

This bylaw does not apply to Waikato Regional Council assets. The Waikato Regional Plan contains policies and implementation methods for the management of its drainage and flood protection schemes.

3.0 Defences Against Water

3.1

Except with the prior written permission of the Council a person must not, in respect of any land, structure or infrastructure vested in or under the management of the Council:

A defence against water includes stopbanks, floodgates and pumps in our District. They are used for flood protection.

- a) Widen, raise, lower, reduce in width, or otherwise alter any defence against water.
- b) Damage, interfere with, or allow damage to occur to any defence against water.
- c) Allow stock access to any defence against water.
- d) Plant or allow to grow any shrub, hedge, tree or part thereof:
 - i) On any defence against water,
 - ii) Within 15 metres of the landward side of any defence against water, or
 - iii) Between the bank of any drainage channel or water course and any defence against water.
- e) Dump or deposit any thing:
 - i) On any defence against water, or
 - ii) Within 15 metres of the landward side of any defence against water, or
 - iii) Between the bank of any drainage channel or watercourse and any defence against water.
- f) Remove or interfere with any plant, equipment or machinery used or associated with any defence against water.
- g) Construct any structure:
 - i) On any defence against water,
 - ii) Within 12 metres of the landward side of any defence against water, or
 - iii) Between the bank of any drainage channel or watercourse and any defence against water.
- h) Carry out any excavation in, on or between the banks of any drainage channel or watercourse and any defence against water.
- i) Carry out any excavation, within 15 metres of any defence against water.

Our District Plan does not allow structures within 12m of stopbanks & floodways in our land drainage areas or adjacent to the Firth of Thames. See our [District Plan maps](#) for floodways.

- j) Excavate a drain or undertake earthworks in or on a stopbank or within 15 metres of the landward toe of a stopbank.
- k) Construct any crossing in, over, through, along or under any defence against water.
- l) Remove, damage or allow stock to damage any vegetation that has been planted adjacent to a drainage channel or water course by the Council or its predecessors.
- m) Adjust or interfere with any floodgate, pump station or pump station equipment.
- n) Remove, damage, or allow stock to damage any fence that has been erected by Council, or its predecessors, for the protection of vegetation on a riverbank.

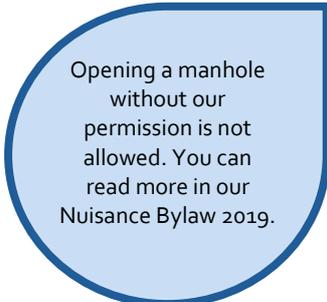
3.2

Except with the prior written permission of the Council a person must not erect or permit to be erected any defence against water.

4.0 Drains

4.1 Private drains

The Council may provide notice¹ under section 459 of the Local Government Act 1974 that requires the owner or occupier of any land within the district to:



Opening a manhole without our permission is not allowed. You can read more in our Nuisance Bylaw 2019.

- a) provide, construct, and lay a private drain from any land which is not drained by some drain to the satisfaction of the Council, and to connect that private drain with any drainage channel or watercourse as the Council thinks fit;
- b) cleanse, repair, relay, or alter the course, direction, and outfall of any existing private drain in the land;
- c) connect any existing private drain with any drainage channel or watercourse other than the drainage channel or watercourse with which the private drain was previously connected;
- d) provide and affix all traps, methods of ventilation, and other fittings to any private drain as the Council directs;

¹ Every notice under this section of the LGA 1974 is to specify the works, materials, and things to be executed, provided, or done and the drainage channel or watercourse with which any private drain is required to be connected, and will limit a time within which the works, materials, and things shall be executed, provided, and done. If the owner fails to do any work specified in the notice the Council may, if it thinks fit, cause the work to be done, and may recover from him the costs and expenses of the work together with 10 percent of those costs and expenses for supervision by the officers or agents of the Council, and interest at a rate per annum, as fixed by the Council, on the total payment until paid.

- e) connect or disconnect any existing or new private drain with or from any water closet, urinal, bath, sink, grease trap, or other sanitary appliance;
- f) do any works or provide materials which in the opinion of the Council are necessary or expedient for the efficient drainage of the land.

4.2 Restricted activities in council drains

Except with the prior written permission of the Council, a person must not in respect of any Council drain:

- a) Widen, deepen or otherwise alter any drainage channel or watercourse;
- b) Remove or interfere with any infrastructure or equipment relating to any drainage channel or watercourse;
- c) Allow any shrub, hedge, tree or part thereof to grow on or in a drainage channel or watercourse that may impede the flow of water in that drainage channel or watercourse or interfere with access along the drainage channel or watercourse for maintenance or inspection purposes;
- d) Plant or allow to grow any shrub, hedge, tree or part thereof within 15 metres of a drainage channel or watercourse (measured from the lip of the drainage channel or watercourse) that may impede the flow of water in that drainage channel or watercourse or interfere with access along the drainage channel or watercourse for maintenance or inspection purposes;
- e) Remove, damage or allow stock to damage any vegetation that has been planted adjacent to a drainage channel or watercourse, or any fence that has been erected to protect that vegetation by Council or its predecessors;
- f) Construct a bridge, culvert or crossing in or over any drainage channel or watercourse;

Remember a council drain includes a drainage channel (on or under the ground) or watercourse, which can be a river, stream, or passage, and channel under our control.

We encourage planting and maintenance of grasses to reduce erosion and sedimentation. If you want to plant something else within 15m of our drains, let us know and we'll assess the site and let you know what plants we can approve (if any).

You can plant crops closer than 15 metres to our drains, however we ask you still keep 5 metres clear so we can use our machinery without crushing your crops.

- g) Construct any structure within 15 metres of a drainage channel or watercourse;
- h) Construct, or form through repeated use, a road or race for the passage of vehicles or stock on a stop bank or within 15 metres of a drainage channel or watercourse;
- i) Damage, interfere with, or allow damage to occur to any drainage channel or watercourse;
- j) Allow stock access to any drainage channel or watercourse;
- k) Connect any private drain, pipe, channel or other conduit to any drainage channel or watercourse or private drain connected with a drainage channel or watercourse in breach of section 467 of the Local Government Act 1974;
- l) Deposit or allow to be deposited in a drainage channel or watercourse any material that is likely to obstruct the free flow of water;
- m) Deposit or allow to be deposited any material between a property boundary and a drainage channel or watercourse;
- n) Permit any dead stock or any part thereof to be or remain in any drainage channel or watercourse;
- o) Undertake any works that will interfere with the access of authorised officers to any drainage channel or watercourses.

The Waikato Regional Plan has rules that apply to artificial watercourses (like farm drains) in our drainage districts. You may need a resource consent if you want to undertake an activity within 15m of a land drain.

Keep Hauraki beautiful! We can fine up to \$400 for littering in a public place. Dumping grass clippings on property that is not yours is littering! For more information, see the Litter Infringement Policy on our website.

5.0 Crossings

5.1

Every owner and every occupier of land on which any crossing is situated must keep that crossing maintained to such a standard as will allow the safe passage over the crossing by authorised officers and contractors engaged by the Council and their plant machinery and vehicles; and must ensure that the area of the drainage channel or

An owner or occupier cannot deny access to land where it is necessary for drainage maintenance and has been notified.

watercourse where the crossing is located is maintained clear of any obstruction to the flow of water.

5.2

Except with the prior written permission of the Council, an owner or occupier of land on which a crossing is situated must not remove a crossing that enables maintenance on any drainage channel, watercourse or defence against water.

It's the land owner's responsibility to ensure the health and safety of visitors. If there are any hazards or unsafe crossings on a private property we're entering to work on drains, we need to know about it.

6.0 Fencing of drainage channels and defences against water

6.1

Every owner and occupier of land must at their own costs erect and maintain fencing to prevent stock entering any drainage channel, watercourse or defence against water vested in or under the management of the Council. The fencing must comply with the Council's guidelines on fencing adjacent to any drainage channel, watercourse or defence against water.

In drainage districts the Waikato Regional Plan requires fences next to watercourses to be no higher than 750 mm otherwise you will need a resource consent.

6.2

All fences that are constructed that would otherwise deny access along the drainage channel or watercourse margins for authorised officers must have a 4 metre wide (minimum) gateway to provide access for maintenance and inspection purposes.

7.0 Obstruction of drainage channel or watercourse

7.1

Except with the prior written permission of the Council, no person may stop, obstruct or interfere with or divert the flow of water in any drainage channel or watercourse vested in or under the management of the Council.

If permission is given by the Council to divert water an alternative and equal watercourse must be provided in accordance with the Land Drainage Act.

7.2

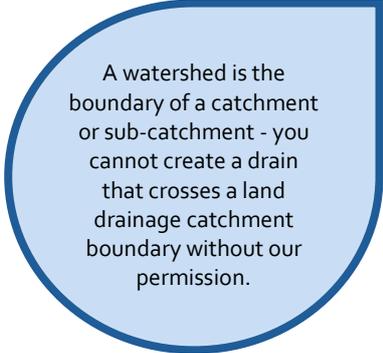
Every owner and every occupier of land on which any drainage channel or watercourse is situated is to remove any shrub, hedge, tree or part thereof that obstructs, or would be likely by falling or otherwise to obstruct, the free flow of water in that drainage channel or watercourse or maintenance to be carried out on that drainage channel or watercourse.

7.3

The Council may in accordance with section 468 of the Local Government Act 1974 require the owner or occupier of any land in the district by written notice to cut down or remove any tree, plant, weed or growth, the roots of which in the opinion of the Council enter or are likely to enter any drainage channel or watercourse.²

8.0 Drains through watersheds

Except with the prior written authority of the Council, no owner or occupier of land is to construct or maintain any private drain or system of private drains if such drain or system of drains passes through any raised level of land or watershed.



A watershed is the boundary of a catchment or sub-catchment - you cannot create a drain that crosses a land drainage catchment boundary without our permission.

9.0 Abstraction or addition of water

9.1

Except with the prior written permission of the Council no person may release any water into any drainage channel or watercourse vested in or under the management of the Council or into a private drain that is connected with such a drainage channel or watercourse other than by natural flow.

² The LGA 1974 provides that if the occupier or owner fails to do any such act in compliance within one month he or she commits an offence and is liable to a fine not exceeding \$5 for every day during which the failure has continued, and the Council may enter on the land and do that act and recover the cost from him. The cost will be a charge upon the land. The Council may remove or cut down any tree after the giving of oral notice by an authorised officer to the occupier or owner if life, property, or any road is in imminent danger. The cost of the work will be a charge against the land. The term cut down means cutting down or removing or controlling by chemical means the stem and roots of any tree.

9.2

Except with the prior written permission of the Council no person is to abstract any water from any drainage channel or watercourse vested in or under the management of the Council or from a private drain that is connected with such a drainage channel or watercourse.

10.0 Land entry

10.1 Inspection and maintenance works

Under sections 171 and 181(4) of the Local Government Act 2002 the Council has full powers, rights and authorities, upon giving notification of intent to the owner or occupier of any land not less than 24 hours prior, to enter upon that land for the purposes of inspection and carrying out mechanical cleaning, weed spraying and desilting of any drainage channel or watercourses and carrying out minor earthworks and repairs on any drainage channel or watercourses or structures that are vested in or under the management of the Council.

We don't need permission to inspect, clean or spray drainage channels on private land, but we will give at least 24 hours' notice.

11.0 Request to maintain Council drains without herbicide

11.1

Owners and occupiers of land with a Council drain adjacent to or through their properties may request that the Council maintains that drain or watercourse to a specified standard without the use of herbicide. The Council will do so on the payment of the fees required.

11.2

Owners or occupiers of land with a Council drain adjacent to or through their properties who wish to avoid the use of herbicide may, with the prior written permission of the Council, be authorised to maintain, or engage a contractor to maintain that Council drain, subject to the following:

- a) Signs are to be erected by the permit holder to clearly mark the areas where chemicals are not to be used.
- b) The work is to be carried out to a standard and within the time specified by the Council.

You can request to have the drain or watercourse placed on the 'no spray register', which means herbicides will not be used for maintenance. There'll be an additional cost as we'll need to use machinery for the clearing of drains.

- c) If the works are not carried out to the specified standard or time, the Council may give notice of its intention to maintain the drainage channel or watercourse in accordance with section 468 of the Local Government Act 1974, and following a period of ten days, may carry out the required maintenance using any method it deems efficient, including the use of herbicides.

12.0 Permits/consent

12.1

An application to the Council for permission must be made in writing.

12.2

When considering any application for permission the Council must have regard to good environmental practice.

13.0 Fees

13.1

Any relevant licence, permit, consent or approval fees are documented in the Council's Schedule of Fees and Charges.

13.2

Where the Council has been requested to maintain a drain or watercourse to a specified standard without the use of herbicide the Council requires the payment of the difference between the costs of maintaining the drain in the normal manner with herbicide and mechanical maintenance.

14.0 Notice to remedy

14.1

The Council may require any person who breaches or fails to comply with the conditions of a permit or provisions of this bylaw to remedy the breach or comply by giving such person a notice in writing which:

- a) Sets out the conditions or matters of the permit or provisions of this bylaw the person has breached or has failed to comply with, and

- b) If the breach or failure is capable of remedy gives the person a reasonable time within which to remedy it, and
- c) If the breach or failure relates to the conditions of a permit warns the permit holder that the Council may revoke the permit if the holder does not either:
 - i) Remedy the breach or failure within the time specified or within such further time as the Council may allow on application to be made within such time as specified in the notice or
 - ii) Make, within a time to be specified in the notice, a written submission to the Council setting out reasons why the permit should not be revoked.

14.2

The Council will not revoke any permit without providing the holder notice in writing.

15.0 Enforcement

15.1

The Council may use its powers under the Local Government Act 2002 and the Local Government Act 1974 to enforce this bylaw.

15.2

The Council may pull down, remove or alter or cause to be pulled down, removed or altered any work, material or thing erected or being in breach of this bylaw and recover costs of the removal or alteration from the person who committed the breach.

16.0 Offences and penalties

Every person who fails to comply with this bylaw commits an offence and shall be subject to the penalty provisions outlined in the offences, penalties, infringement offences, and legal proceedings provisions of the Local Government Act 1974 and Local Government Act 2002.

17.0 Dispensations

The Council may at its discretion waive any of the requirements of this bylaw except any prescribed by statute if it believes good reason to do so exists.

Drainage Bylaw validation

This bylaw was adopted at a meeting of the Hauraki District Council on 28 August 2019, following public consultation.

The Common Seal of the Hauraki District Council was affixed in the presence of:

_____ Mr. John Tregidga, Mayor

_____ Mr. Peter Thom, Acting Chief Executive



For more information:

- **W** www.hauraki-dc.govt.nz
- **E** info@hauraki-dc.govt.nz
- **P** 07 862 8609 or 0800 734 834 (from within District)

Visit us at one of our offices:

- Paeroa: 1 William Street
- Ngatea: 84 Orchard West Road
- Waihi: 40 Rosemont Road

5.7 RESIDENTIAL ZONE

5.7.1 ZONE PURPOSE

- (1) The Residential Zone covers those areas of the District that have previously been zoned for residential purposes with some minor expansion in some settlements where the land has been demonstrated to be suitable for residential purposes to meet the foreseeable future demand.
- (2) The Residential Zone enables a variety of residential activities and some compatible non residential activities to establish in a manner that ensures that the amenity and character of the residential areas is protected.
- (3) The settlements of Waikino, Mackaytown and Karangahake have a servicing constraint (no reticulated sewage treatment and disposal). As such, the performance and subdivision standards for these settlements have been set at a level that enables servicing on site and recognises a lower density of development that characterises these settlements.
- (4) The boundaries of the residential areas in part reflect the physical constraints, historical factors and financial ability to service these areas. Physical boundaries and natural hazards have defined the residential areas (eg flooding, hills, Ohinemuri River in Paeroa; Waitete Stream, Ohinemuri River and mining areas in Waihi; Piako River in Ngatea). The policies of protecting land of high productive capability for food production purposes has also constrained not only residential but all urban development.
- (5) The residential areas of the District are characterised by low density, low rise housing development and are generally low noise environments with low volumes of through traffic. Poor house design and siting can lead to a loss of sunlight, daylight and privacy. More intensive development is provided for where the layout is well planned to minimise these adverse effects, and where infrastructure and other urban amenities are available.
- (6) Residential growth areas have been identified in Paeroa and Waihi and in some of the smaller settlements. Structure planning exercises have been undertaken for the majority of these growth areas to ensure a well planned and integrated approach to transport networks, infrastructure and zoning and to avoid adverse impacts upon identified areas of landscape, biodiversity, heritage and cultural value.

5.7.2 OBJECTIVES AND POLICIES

(1) OBJECTIVE 1

To provide for residential development that maintains and enhances neighbourhood amenities and qualities consistent with the aspirations of the individual communities within those areas.

(a) Policies

Objective 1 will be achieved by implementation of the following policies:

16 September 2019

- (i) Require activities in residential areas to be sited, designed and operated in such a way that avoids, remedies or mitigates adverse noise, privacy and traffic effects on health, safety and amenity values.
- (ii) Provide for residential development where servicing constraints do not exist and ensure any required infrastructure upgrades are borne by the development.
- (iii) Provide for higher density residential development (comprehensive residential developments) where these can be accommodated in a manner that promotes good urban design and does not detract from the character of the locality.
- (iv) Provide services to a standard that can meet the demands of the intensity of development.
- (v) Provide flexibility for the development and operation of a range of non-residential activities which are not incompatible in scale, intensity and character with the residential area in which they are located.

(b) Reasons

- (i) Residential areas are places where people seek to carry out home and leisure activities free from the detrimental effects of noise, fumes, dust and other adverse effects that can be associated with work, business, recreation and other activities.
- (ii) There are negative effects associated with living in higher densities. These effects can be reduced and/or avoided by building within the limits of specified performance standards and adopting good urban design principles.
- (iii) The use of resources, including land and services, can be reduced by higher density living and the containment of residential activities.
- (iv) The wellbeing of the community can be improved by providing for the type of residential environment people want.

(2) OBJECTIVE 2

To develop residential areas free from the effects of hazards.

(a) Policies

Objective 2 will be achieved by implementation of the following policies:

- (i) Identify hazards such as flooding, filled areas and mine shafts on the District Plan maps and/or Council's Land Information Memoranda and other information systems.
- (ii) Limit the development of land for residential purposes within areas subject to inundation adjacent to the area zoned for flood ponding purposes in Paeroa.
- (iii) In areas known to be subject to flooding establish building floor levels to avoid risk to human life and mitigate risk to dwellings and communal buildings.
- (iv) Avoid intensive residential development and subdivision in areas known to be subject to flooding.

- (v) Place constraints on development in areas of coastal erosion hazard potential at Whiritoa.

(b) Reasons

- (i) Most hazards are of such a nature that no intervention or identification is required within the District Plan. Rather, many hazards are of a "site specific" nature, and can be properly addressed through other mechanisms such as the Project Information Memorandum and Land Information Memorandum systems, and the provisions of the Building Act.
- (ii) Flooding is a recognised natural hazard that is appropriate to include in the District Plan as it is of a general nature applying to identified areas.
- (iii) The effects of coastal erosion at Whiritoa would increase if inappropriate development occurred on or near the foredune area.

(3) OBJECTIVE 3

To avoid, remedy or mitigate any adverse effect of residential and non-residential developments on the environment and character of the locality.

(a) Policies

Objective 3 will be achieved by implementation of the following policies:

- (i) Ensure development and subdivision is designed and located to:
 - (1) integrate well with the immediate locality;
 - (2) contribute positively to the streetscape;
 - (3) provide occupants of dwellings with a reasonable outlook, access to sufficient open space and reasonable aural and visual privacy.
- (ii) Ensure development and subdivision can be effectively serviced by local infrastructure or in a manner which can protect the health and safety of residents and does not have a detrimental effect on the environment.
- (iii) Ensure development and subdivision can safely cater for on-site traffic, parking and servicing needs and has safe and practical vehicular access to a public road.

(b) Reasons

- (i) The Resource Management Act 1991 promotes the management (by various means) of the effects of activities on the environment. The manner in which residential activities are allowed to develop must be in accordance with that emphasis.
- (ii) A limited range of non-residential activities can operate without detriment to the residential environment, as long as their effects are maintained within specific limits. The ability of activities to remain within these limits needs to be monitored, as does the appropriateness of the limits themselves.

- (iii) Community expectations for environmental quality are continually changing (usually to require greater residential amenity), and the performance standards reflect that community expectation.

5.7.3 ENVIRONMENTAL RESULTS

- (1) The primary expected environmental result of this zone is to maintain, develop and enhance a resource and an environment to meet the social and economic needs of the existing and future communities.
- (2) To meet the changing residential needs of the community in terms of increased density, the range of residential accommodation types and the high standard of residential amenity desired by the community.
- (3) The establishment of non-residential activities that complement the surrounding residential area and enhance, where appropriate, the amenity and character of the neighbourhood.
- (4) The development of anticipated future residential growth areas, co-ordinated with Council's infrastructure planning and asset management programme, which integrate with established communities.

5.7.4 ACTIVITY STATUS

Activities and their *accessory uses* and *buildings* (unless otherwise stated) are *Permitted, Controlled, Restricted Discretionary, Discretionary, Non Complying* or *Prohibited* according to the Activity Status Table below:

5.7.4.1 PERMITTED ACTIVITIES

Those activities listed below are a *Permitted Activity* unless otherwise specified and subject to compliance with the:

- *Zone Development Standards* specified in Rule 5.7.5;
- Activity Specific Standards specified in Rule 5.7.6;
- Conservation and Heritage provisions in Section 6.0
- Specific and District Wide provisions in Section 7.0; and
- District Wide Performance Standards in Section 8.0.

P1	<i>RESIDENTIAL ACTIVITIES (ONE DWELLING PER CERTIFICATE OF TITLE) (REFER TO ACTIVITY SPECIFIC STANDARD 5.7.6(5))</i>
P2	<i>HOME OCCUPATIONS (REFER TO ACTIVITY SPECIFIC STANDARDS 5.7.6(1) AND (5))</i>
P3	<i>HOMESTAY</i>
P4	<i>PASSIVE RECREATION (REFER TO ACTIVITY SPECIFIC STANDARD 5.7.6(5))</i>
P5	<i>PROSPECTING</i>
P6	<i>DRAINAGE WORKS</i>

P7	<i>EXPLORATION</i> NOT INVOLVING MORE THAN 20 M ³ OF EXCAVATION PER ALLOTMENT IN ANY ONE YEAR (REFER TO ACTIVITY SPECIFIC STANDARD 5.7.6(5))
P8	<i>TEMPORARY USES AND BUILDINGS</i> (INCLUDING <i>TEMPORARY MILITARY TRAINING</i>) (REFER TO ACTIVITY SPECIFIC STANDARD 5.7.6(5))
P9	DEMOLITION AND REMOVAL OF <i>BUILDINGS</i>
P10	ONE STORAGE <i>BUILDING</i> PER <i>SITE</i> THAT DOES NOT CONTAIN A <i>DWELLING</i> PROVIDED THE <i>BUILDING</i> DOES NOT EXCEED A GROSS FLOOR AREA OF 50M ² AND IS USED SOLELY BY THE OWNER OF THE PROPERTY FOR PERSONAL STORAGE INCLUDING HOUSEHOLD ITEMS, VEHICLES, BOATS, MACHINERY, AND/OR TOOLS.
P11	<i>ACCESSORY BUILDINGS</i> ASSOCIATED WITH A <i>MINOR DWELLING UNIT</i> (REFER TO DEFINITION OF <i>MINOR DWELLING UNIT</i>).

5.7.4.2 CONTROLLED ACTIVITIES

Those activities listed below are a *Controlled Activity* unless otherwise specified and subject to compliance with the:

- *Zone Development Standards* specified in Rule 5.7.5;
- Activity Specific Standards specified in Rule 5.7.6;
- Conservation and Heritage provisions in Section 6.0
- Specific and District Wide provisions in Section 7.0; and
- District Wide Performance Standards in Section 8.0.

Conditions may be imposed in relation to the matters over which control has been reserved, as specified below.

C1	<i>EDUCATION AND TRAINING FACILITIES AND OFFICES</i> (REFER TO ACTIVITY SPECIFIC STANDARDS 5.7.6(2) & (5))
C2	<i>COMMUNITY HOUSING AND VISITOR ACCOMMODATION</i> (REFER TO ACTIVITY SPECIFIC STANDARDS 5.7.6(3) & (5))
C3	<i>COMPREHENSIVE RESIDENTIAL DEVELOPMENT IN WAIHI AND PAEROA ONLY</i> (REFER TO ACTIVITY SPECIFIC STANDARDS 5.7.6(4) & (5))
C4	<i>EXPLORATION</i> INVOLVING MORE THAN 20M ³ AND NO MORE THAN 50M ³ OF EXCAVATION PER ALLOTMENT IN ANY ONE YEAR (REFER TO ACTIVITY SPECIFIC STANDARD 5.7.6(5))
C5	IN WAIHI, PAEROA AND WHIRITOA: TWO OR MORE <i>DWELLINGS</i> PER <i>CERTIFICATE OF TITLE</i> (REFER TO ACTIVITY SPECIFIC STANDARDS 5.7.6(5) & (6))
Matters over which Council has reserved control For C1, C2 & C3 are:	
(1)	Design and appearance of buildings
	(a) <i>Buildings</i> should be of a residential scale and appearance, to reflect a residential not a commercial façade.
(2)	Site Layout
	(a) <i>Buildings</i> , utility areas and activities should be arranged in order that visual and aural privacy is maintained for <i>dwellings</i> on the same and adjoining <i>allotments</i> .
	(b) For <i>Education and Training Facilities, Community Housing and Visitor Accommodation, outdoor living areas</i> should be separated from the main living

	<p>areas on adjoining <i>residential properties</i> unless suitably screened to minimise noise levels.</p> <p>(c) For <i>Comprehensive Residential Developments</i>, <i>buildings</i> should not be grouped in one part of the <i>site</i>, to avoid dominance of <i>buildings</i> and expanses of carparking in another part of the <i>site</i>.</p> <p>(d) For <i>Comprehensive Residential Developments</i>, any communal facilities (eg. recreation and leisure and communal dining facilities) should be centrally located on the <i>site</i> or buffered from adjoining <i>residential property</i> boundaries by residential <i>buildings</i>.</p>
(3)	<p>Location and design of vehicle access</p> <p>(a) Access from the <i>road</i> to the property boundary should be located as far as practicable from the boundary of an adjoining <i>residential property</i> in order to reduce the effects (noise, fumes) of vehicle movements.</p> <p>(b) Internal accesses and on-site carparking should be located as far from adjoining <i>residential property</i> boundaries as is practicable and buffered by either <i>buildings</i>, <i>landscaping</i> or screening.</p> <p>(c) For <i>Comprehensive Residential Developments</i>, the internal circulation for pedestrians and vehicles should be integrated and designed to provide for the safety of residents and visitors.</p>
(4)	<p>Landscape design</p> <p>(a) <i>Landscaping</i> should be carried out in a manner that reinforces the residential character of the area, and screens any service areas.</p> <p>(b) Parking and vehicle access areas should be screened from adjoining <i>residential properties</i> by landscape planting, where alternative screening is not provided or appropriate, to provide a physical barrier to reduce or remove the effects of glare from headlights, exhaust fumes, noise and dust.</p>
(5)	<p>Carparking</p> <p>(a) Carparking on-site should be visually obvious from the street to drivers. <i>Landscaping</i> and <i>signs</i> can assist in defining the access point and the parking area.</p> <p>(b) Carparking should be designed so vehicles can manoeuvre on-site and are not required to reverse onto the <i>road</i>.</p> <p>(c) Adequate on-site parking should be provided to accommodate the demands of occupiers and visitors, particularly where the <i>site</i> adjoins or has access to an <i>arterial road</i>.</p>
<p>Matters over which Council has reserved control For C4 are:</p>	
(1)	<p>Location and Duration</p> <p>(a) The location of the <i>exploration</i> activities to ensure the stability of adjacent land/<i>buildings</i> and <i>network utility</i> infrastructure is protected.</p> <p>(b) The duration of the <i>exploration</i> activities to minimise disturbance on adjacent residential <i>amenities</i>.</p>
(2)	<p>Management and rehabilitation</p> <p>(a) The adequacy of management and rehabilitation plans to ensure the long term appearance and stability of any disturbed/excavated area including surplus earth disposal areas (including the possible use of performance bonds or other</p>

<p>mechanisms) aimed to return the disturbed area to the same or similar state as existed prior to the <i>exploration</i> activity.</p> <p>(b) The extent to which existing <i>indigenous</i> or other vegetation which contributes to visual <i>amenity</i> and/or biodiversity values is retained, the reasons why clearance is proposed and the ability to rehabilitate the area to similar values.</p> <p>(c) Whether earthworks and/or tracks associated with the activity have been located or minimised to reduce any adverse visual impact.</p>
<p>Matters over which Council has reserved control for C5 are:</p> <p>(1) Adequacy of information</p> <p>(a) The adequacy of information including a dimensioned scheme plan and engineering design plan to show that the location of the <i>dwellings</i>, design and servicing of the proposed development, and future subdivision boundaries can meet the relevant Zone Development Standards (refer to 5.7.5(1)), Activity Specific Standards (refer to 5.7.6(5) & 5.7.6(6)), Subdivision Standards (refer to 9.4.3.1(1)), and District Wide Performance Standards for Development and Subdivision (refer to Section 8) as if the <i>certificate of title</i> is to undergo subdivision in future.</p> <p>(2) Methods to ensure compliance with the District Wide Performance Standards for Development and Subdivision</p> <p>(a) Refer to Section 8.</p> <p>(3) Controlled activity assessments matters for all residential zones</p> <p>(a) Refer to 9.4.3.3(1).</p> <p>(4) Controlled activity assessment matters</p> <p>(a) Refer to 9.5.</p> <p>(5) Urban design principles</p> <p>(a) Refer to 9.1.3(2)(a)(ii).</p>

5.7.4.3 RESTRICTED DISCRETIONARY ACTIVITIES

Those activities listed below are a *Restricted Discretionary Activity* subject to compliance with the:

- Conservation and Heritage provisions in Section 6.0;
- Specific and District Wide provisions in Section 7.0; and
- District Wide Performance Standards in Section 8.0.

The matters over which the *Council* has restricted its discretion are specified for each *Restricted Discretionary Activity* listed below.

<p>RD1 ANY PERMITTED OR CONTROLLED ACTIVITY THAT DOES NOT MEET THE ZONE DEVELOPMENT STANDARDS IN RULE 5.7.5 FOR A PERMITTED OR CONTROLLED ACTIVITY AND DOES NOT EXCEED THE ZONE DEVELOPMENT STANDARDS IN RULE 5.7.5 FOR A RESTRICTED DISCRETIONARY ACTIVITY</p> <p>Matters over which Council has restricted its discretion are:</p> <p>The <i>Council</i> will restrict the exercise of its discretion to the ability of the activity or development to achieve the particular environmental result of the <i>Zone Development Standards</i> in Rule 5.7.5 for which compliance is not met and the following relevant assessment criteria:</p>

- (1) **Height and Daylighting**
- (a) The extent that topographical and *site* conditions (including easements) restrict the area or shape of the *site* that is suitable and available for building.
 - (b) The desirability of maintaining consistency in design and appearance with existing *buildings* on the *site*.
 - (c) The need to preserve existing trees, vegetation or important physical characteristics of the *site*.
 - (d) Whether the boundary to which the standard relates is a common boundary with an area of permanent open space, the use of which will not be detrimentally affected by any increased shading or loss of visual *amenity*.
 - (e) Whether the property adjoining the *site* is sufficiently higher and therefore the adjoining property will not be detrimentally affected.
 - (f) Where the standard(s) is/are not met due to penetration by a dormer window, gable or similar roof feature, whether that will have a minor effect on the *amenities* of the neighbouring site.
 - (g) The extent to which it is necessary to minimise the physical disturbance to the landscape and the landforms.
 - (h) The degree to which *amenity* value and privacy of adjoining properties is affected by matters such as shading and loss of daylight.
 - (i) The extent to which the *building* visually intrudes on any significant ridgeline or skyline or significant landscape, and what measures are proposed to reduce the visual effects of that intrusion.
 - (j) Whether the *building* will detract from any view or vista which contributes to the aesthetic coherence of a locality, and if it does, what measures can and will be taken to reduce the detraction to an acceptable level or remove it completely.
 - (k) Where the Residential Zone land is within the coastal *environment*, whether the *building* will complement the coastal location in terms of scale.
- (2) **Yards**
- (a) The extent that topographical and *site* conditions restrict the area or shape of the *site* that is available and suitable for building.
 - (b) The degree to which the functioning of the *site* and/or the activity can be improved by not meeting the standard.
 - (c) Whether there is a need to preserve existing trees, vegetation or important physical characteristics of the *site*.
 - (d) The extent to which the provision of daylight and sunlight into the neighbouring properties and the visual and aural privacy of neighbouring sites will be affected.
 - (e) The extent to which the safe and efficient functioning of the street or *road* will be significantly compromised.
 - (f) Whether the detrimental effects of building in the *yard* can be reduced or avoided.
 - (g) Whether the *yard* functions (including separation, *landscaping* and service provision) will be provided on the *site* by other means, or are they unnecessary.

- (3) **Site coverage**
- (a) The ability of the existing on-site disposal methods to cope with additional stormwater and/or disposal of septic tank effluent.
 - (b) Whether there are known stormwater/sewage disposal problems in the area.
 - (c) The degree to which negative effects, in terms of changing the character or visual *amenity* of the area, can be mitigated or removed through the use of such techniques as *landscaping*, building design, exterior finish, set back from boundaries or reduced *height*.
 - (d) The extent to which open space within the *site* and/or in the near vicinity can reduce the impact of the *building(s)* in terms of character or visual *amenity*.
- (4) **Outdoor service area**
- (a) The extent to which the functions of the *outdoor service area* can be adequately provided by other means (eg. storage area provided within a garage or carport to be built with the *dwelling*, or other *building* on the *site*).
 - (b) Whether there are suitable communal service facilities provided which are readily accessible to and useable by the activity on the *site*.
- (5) **Privacy and Separation**
- (a) Whether the purpose of the separation, privacy and screening standards can be met to the same or similar level by some other method.
 - (b) Whether there are existing developments on the same or adjoining *allotments* such that it would make compliance with the standards impracticable.
 - (c) Where the existing situation fails to meet these standards, whether the proposed *development* will increase the degree to which the residential *amenities* are already detrimentally affected.
- (6) **Traffic Noise Sensitivity**
- (a) The location of the dwelling in relation to the formed carriageway of the *state highway*,
 - (b) The location of the bedrooms and main living room within the dwelling in relation to the formed carriageway of the *state highway*,
 - (c) The extent and location of the main glazing to bedrooms and living areas,
 - (d) The mitigation methods proposed – building materials, construction method and the internal noise level that will be achieved,
 - (e) The outcomes of any consultation with the New Zealand Transport Agency, and

Whether they are likely to avoid or mitigate potential adverse traffic noise effects or potential reverse sensitivity effects on the *state highway* (to apply to (a) – (e) above).
 - (f) Whether there are other design features that will provide the required ventilation without the need for ventilating windows or a *ventilation system*.
 - (g) Whether the *ventilation system* proposed will provide a comfortable living environment as well as the required level of ventilation.
- (7) **Outdoor Living Area**

<p>(a) Whether there is communal outdoor space provided, which is accessible to each activity on site, and provides a similar level of amenity.</p> <p>(b) Whether there is adjoining open space (e.g. park, reserve) that is 'usable' by each activity on the <i>site</i>, thereby reducing the need to provide the living area on-site.</p> <p>(c) The extent to which the living area can be provided in a manner that may not meet the standards, but still provides a usable area to meet the purpose of the living area and a similar level of amenity.</p>
<p>RD2 ANY PERMITTED ACTIVITY OR CONTROLLED ACTIVITY THAT DOES NOT MEET THE ACTIVITY SPECIFIC STANDARD 5.7.6(5) IN THE AREA IDENTIFIED ON THE PLANNING MAPS AS "SUBJECT TO INUNDATION"</p> <p>Matters over which Council has restricted its discretion are:</p> <p>(1) Design of buildings</p> <p>(a) Whether the <i>building</i> or extension to the <i>building</i> and associated access is designed in such a manner that the <i>building</i> and access to the <i>building</i> will be free from inundation.</p> <p>(b) Whether the <i>building</i> or extension to the <i>building</i> and access to it will have any consequential flooding effects on the remainder of the <i>site</i> and other sites also subject to potential inundation.</p> <p>(2) Earthworks/Impermeable covering</p> <p>(a) Whether the excavation or placement of fill is carried out in a manner that ensures erosion of the exposed ground and/or fill face during inundation will be minor and not cumulatively affect the functioning of the Flood Ponding Zone.</p> <p>(b) Whether the extension of the impermeable covering (building and/or hard surfaces) and access will have any consequential inundation effects on the remainder of the site and other <i>sites</i> also subject to potential inundation and any other adjacent sites.</p> <p>(c) Whether any fill material will leach into the water and create a pollution hazard (particularly where vegetation is removed).</p> <p>(3) Planting</p> <p>(a) Whether any proposed planting contributes to the control of stormwater runoff, erosion control and the flood ponding purpose of the adjoining Flood Ponding Zone.</p> <p>(b) Whether the planting will inhibit the ability of the Flood Ponding Zone to achieve that purpose and/or have a consequential adverse effect on other sites also subject to potential inundation. For example vegetation should not impede the free flow of water during the flood ponding/inundation process (both filling and emptying).</p>
<p>RD3 IN WAIHI, PAEROA AND WHIRITOA: ONE <i>MINOR DWELLING UNIT</i> ACCESSORY TO A <i>DWELLING</i> OR APPROVED ADDITIONAL <i>DWELLING</i> (REFER TO 5.7.4.2 C5 AND ACTIVITY SPECIFIC STANDARD 5.7.6(7))</p> <p>Matters over which Council has restricted its discretion are:</p> <p>(1) Landscape, visual and amenity effects.</p>

(2)	Effects on the privacy of neighbouring properties and dwellings.
(3)	Potential nuisance effects on neighbouring properties and dwellings.
(4)	Adequacy of provision for domestic effluent disposal, potable water supply, and stormwater drainage.
(5)	Adequacy of outdoor recreation space.
(6)	Access, parking and manoeuvring.
(7)	Traffic effects.
(8)	Location of the <i>minor dwelling unit</i> and orientation to enable daylight penetration for both the <i>minor dwelling unit</i> and associated <i>dwelling</i> .
(9)	The location and use of <i>buildings</i> and <i>structures</i> including garaging and decks to be used in association with the <i>minor dwelling unit</i> .
(10)	Methods to ensure compliance with Activity Specific Standard 5.7.6(7).

5.7.4.4 DISCRETIONARY ACTIVITIES

Those activities listed below are a *Discretionary Activity* and shall be assessed against the relevant criteria in Rule 5.7.7.

Note: The Conservation and Heritage provisions in Section 6.0 and the Specific and District Wide provisions in Section 7.0 also apply and may alter the *Discretionary Activity* status for the activities specified below or require additional resource consents.

D1	<i>ANY PERMITTED OR CONTROLLED ACTIVITY THAT DOES NOT MEET THE ZONE DEVELOPMENT STANDARDS IN RULE 5.7.5 FOR A RESTRICTED DISCRETIONARY ACTIVITY</i>
D2	<i>ANY PERMITTED OR CONTROLLED ACTIVITY THAT DOES NOT MEET THE ACTIVITY SPECIFIC STANDARDS IN RULE 5.7.6 AND IS NOT OTHERWISE PROVIDED FOR AS A RESTRICTED DISCRETIONARY ACTIVITY</i>
D3	<i>COMMUNITY FACILITIES</i>
D4	<i>UNDERGROUND MINING</i>
D5	<i>DAIRY</i>
D6	<i>EXPLORATION NOT PROVIDED FOR AS A PERMITTED OR CONTROLLED ACTIVITY</i>
D7	<i>IN WAIHI, PAEROA AND WHIRITOA: A MINOR DWELLING UNIT THAT DOES NOT MEET THE ACTIVITY SPECIFIC STANDARDS IN RULE 5.7.6(7)</i>
D8	<i>EXCEPT IN WAIHI, PAEROA AND WHIRITOA – 2 OR MORE DWELLINGS PER CERTIFICATE OF TITLE</i>

5.7.4.5 NON COMPLYING ACTIVITIES

Those activities listed below are a *Non Complying Activity*.

NC1	<i>ANY ACTIVITY NOT PROVIDED AS A PERMITTED, CONTROLLED, RESTRICTED DISCRETIONARY, DISCRETIONARY OR PROHIBITED ACTIVITY</i>
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5.7.4.6 PROHIBITED ACTIVITIES

Those activities listed below are a *Prohibited Activity*.

PR1 SURFACE MINING

5.7.5 ZONE DEVELOPMENT STANDARDS

- (1) The following relevant *Zone Development Standards* shall be met by all *Permitted* and *Controlled Activities* unless otherwise stated.
- (2) For *Controlled Activities*, where *Council* has reserved control over specified matters in Rule 5.7.4.2, and for *Restricted Discretionary Activities* in Rule 5.7.4.3, where *Council* has restricted its discretion to specific matters, more restrictive development standards than those specified in the table below, may be imposed as *conditions* of consent.
- (3) The following relevant *Zone Development Standards* shall be used as a guide in assessing any *Discretionary* and *Non Complying Activities*.

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
Maximum <i>Height</i>	8.0 metres	9.0 metres	To ensure that the <i>height of buildings</i> is compatible with the activities permitted in the <i>zone</i> as well as the landscape, <i>amenity</i> and character of both the <i>zone</i> that the <i>building</i> is located in and any adjoining <i>zone</i> .
<i>Daylight Control</i> (refer to definition for explanatory diagram)	No <i>building</i> shall project above 2.0 metres in <i>height</i> at any <i>site</i> boundary and not project above a 45° plane into the <i>site</i> up to the maximum <i>height</i> .	No restriction	To ensure no <i>building</i> unreasonably overshadows any neighbouring property, thereby restricting daylight and ventilation between <i>buildings</i> .
Minimum <i>Yards</i>	<i>Front Yard</i> : <ul style="list-style-type: none"> ▪ 4.5 metres (except for Ngatea) ▪ 7.5 metres (Ngatea only) 	<i>Front Yard</i> : <ul style="list-style-type: none"> ▪ 4.5 metres (except for Ngatea) ▪ 7.5 metres (Ngatea only) 	To allow flexibility in <i>site</i> layout while still maintaining the <i>amenities</i> of the <i>site</i> and adjoining sites.

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<i>Other Yards: 1.5 metres.</i>	<i>Other Yards: Nil</i>	To provide an open streetscape that allows for planting and ensures the traffic function of the <i>road</i> is not compromised.
Maximum <i>Site Coverage</i>	35% (excluding a <i>Comprehensive Residential Development</i>) 45% for a <i>Comprehensive Residential Development</i>	40% (excluding a <i>Comprehensive Residential Development</i>) 50% for a <i>Comprehensive Residential Development</i>	To limit the scale and intensity of building development to a level appropriate to the character and <i>amenity</i> of the area. In areas not served by reticulated stormwater and sewage disposal systems, an adequate area for on-site stormwater and effluent disposal is maintained to avoid adverse effects on adjacent properties and the <i>environment</i> .
Traffic Noise Sensitivity	(a) All new <i>habitable room(s)</i> where located within 40 metres of the formed carriageway (excluding State Highway 2 service <i>roads</i> at Waihi) of a <i>state highway</i> (except for the Residential Zones at Waikino, Mackaytown/ Karangahake, and Whiritoa, where all new <i>habitable room(s)</i> located within 80 metres of the formed carriageway of a <i>state highway</i>) shall meet an internal road-traffic design sound level of 40dB _{L_{Aeq}(24hr)} with ventilating windows open. (b) An acoustic design report from a suitably qualified and experienced acoustics expert shall be provided to the <i>Council</i> demonstrating compliance with (a) above at the time of building consent application.	No restriction	To allow flexibility of site layout while protecting the <i>amenity</i> of sensitive uses where located in proximity to high speed environment and/or high traffic volume <i>state highways</i> , from potential adverse traffic noise effects.

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<p>(c) Where the requirements of (a) above can only be met with windows and doors closed a <i>ventilation system</i> shall be installed for the <i>habitable room(s)</i>.</p> <p>(d) The requirements of (a) above shall not apply where:</p> <p>(i) the nearest façade of the new <i>habitable room(s)</i> is between 20 and 40 metres from the formed carriageway of the <i>state highway</i> (except for the Residential Zones at Waikino, Mackaytown/ Karangahake, and Whiritoa, where the nearest façade of the new <i>habitable room(s)</i> is between 50 and 80 metres from the formed carriageway of the <i>state highway</i>) and there is a solid building, fence, wall or landform that blocks the line of sight from all parts of all windows and doors to the new <i>habitable room(s)</i> to any part of the formed carriageway of the <i>state highway</i> (where that part of the <i>state highway</i> is within 40 metres (or 80 metres for the Residential Zones at Waikino, Mackaytown/ Karangahake, and Whiritoa) of the façade of the new <i>habitable room(s)</i>); or</p> <p>(ii) it can be demonstrated by way of prediction or measurement by a suitably qualified and experienced acoustics expert that the road traffic noise level from the <i>state highway</i> is less than $55dBL_{Aeq(24hr)}$ on all facades</p>		

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<p>of the new <i>habitable room(s)</i>; or</p> <p>(iii) the <i>habitable rooms</i> are added to or altered within a <i>dwelling</i> existing at 26 September 2014.</p>		
Density (Comprehensive Residential Development)	A minimum net site area per dwelling of 350m ² .	A minimum net site area per dwelling of 350m ² .	To maintain the residential character and an appropriate level of <i>amenity</i> .
<i>Outdoor Living Area (Dwellings and Community Houses)</i>	<p>Minimum Area: 60m² plus 10m² for each additional bedroom over 2.</p> <p>Minimum Dimension: 3 metres in all directions</p> <p>Minimum Shape: Can contain a 6.0 metre diameter circle.</p>	<p>Minimum Area: 60m² plus 10m² for each additional bedroom over 2.</p> <p>Minimum Dimension: 3 metres in all directions.</p> <p>Minimum Shape: Can contain a 6 metre diameter circle</p>	To protect residential <i>amenities</i> such as privacy, quietness and outdoor space.
<i>Outdoor Service Area (Dwelling)</i>	<p>Minimum Area: 20m²</p> <p>Minimum Dimension: 3.0 metres</p> <p>Except that, for <i>Community Housing</i> and <i>Visitor Accommodation</i>, where a fully equipped laundry facility (both washing and drying machines are provided) the minimum required <i>outdoor service area</i> can be reduced to 10m² and minimum dimension reduced to 2 metres.</p>	Nil	To provide a separate area suitable for general storage, clothes drying and rubbish bin storage, in order that areas for outdoor living, parking or access do not get used for this purpose, thereby detracting from the function and <i>amenity</i> of the <i>zone</i> .
<i>Privacy and Separation</i>	<p>(a) For <i>buildings</i> on the same <i>allotment</i>:</p> <p>(i) <i>No part of a dwelling/household unit /minor dwelling unit and any other building shall protrude through a plane rising at an</i></p>	Nil	To protect existing and future residential <i>amenities</i> , particularly where two storey living and <i>comprehensive residential development</i> has the potential to

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<p><i>angle of 45° commencing at an elevation of 2 metres at a line midway between the dwelling/household unit/minor dwelling unit and the other building unless the other building is accessory to the dwelling/household unit/minor dwelling unit.</i></p> <p>(ii) <i>No wall of a dwelling/household unit/minor dwelling unit shall be sited closer than 3.0m to the wall of another building (including another dwelling/household unit/minor dwelling unit), unless it is accessory to the dwelling/household unit/minor dwelling unit.</i></p> <p>(iii) <i>Where the buildings are attached by adjoining or common walls, the above separation setbacks are not required between those buildings.</i></p> <p>(b) <i>All dwellings/household units/minor dwelling units on the same allotment shall be arranged so that:</i></p> <p>(i) <i>a sight line drawn from any point on the main glazing of the living room in one dwelling/minor dwelling unit does not penetrate the main glazing of the living room of any other dwelling/household unit/minor dwelling unit unless:</i></p> <p>(1) such glazing is at least 6m apart; or</p> <p>(2) the angle between the two planes of that glazing is >120°</p>		<p>detrimentally affect environmental qualities such as privacy, quietness and space.</p>

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<p>(3) where the living rooms of both <i>dwelling/household units/minor dwelling units</i> are at ground floor level screening is provided in the form of close boarded or similar fences, or planting of not less than 1.8 metres in height.</p> <p>(ii) <i>No windows of all habitable rooms (apart from the main glazing of the living room) in one dwelling/household unit/minor dwelling unit shall face towards the window of any habitable room in any other dwelling/household unit/minor dwelling unit unless:</i></p> <p>(1) the separation is at least 6 metres; or</p> <p>(2) the window sill is at least 1.7 metres above either finished ground or upper floor level; or</p> <p>(3) the angle between the two planes of the glazing is >120°; or</p> <p>(4) where the <i>habitable rooms</i> are at ground floor level screening is provided in the form of close boarded or similar fences, or planting of not less than 1.8 metres in height.</p> <p>(c) A balcony or window of a <i>habitable room</i> of a <i>dwelling/household unit/minor dwelling unit</i> at above ground floor level shall be set back at least 6 metres from any boundary (excluding the road boundary or adjoining <i>internal</i></p>		

Development Standard *	Parameter		Environmental Result
	Permitted and Controlled	Restricted Discretionary	
	<p><i>access or vehicle access strip</i> of 3 metres width or more) unless:</p> <p>(i) windows are at an angle of 60° or greater to the boundary; or</p> <p>(ii) the window sill is at least 1.7 metres above finished upper floor level; or</p> <p>(iii) opaque or obscure glazing is provided; or</p> <p>(iv) the side of the balcony facing the adjoining boundary is enclosed with non see through materials.</p>		

*These *Zone Development Standards* shall not apply to “*Temporary Uses and Buildings*” covered by clause (b) of the definition in Section 4 for “*Temporary Uses and Buildings*” and to “*Prospecting*” and “*Exploration*”.

5.7.6 ACTIVITY SPECIFIC STANDARDS

(1) HOME OCCUPATIONS

- (a) At least one person, including the principal operator of the *home occupation*, shall reside on the *site*.
- (b) A *home occupation* involving the care, tuition and/or accommodation of no more than five persons at any one time (in addition to the owner(s)/operator(s)) may be undertaken provided the activity and accommodation is principally undertaken within the *dwelling*.
- (c) Except for (b) above, all other *home occupations* shall be carried out wholly within the *dwelling* or an *accessory building* erected or modified for the purpose, provided that the *gross floor area* of the *dwelling* or *accessory building* used for the *home occupation* including any area used for retail sales shall not exceed 30% of the total *gross floor area* of *buildings* on the *site*.
- (d) Not more than one person from outside the household residing on the *site* shall be employed in the *home occupation*.
- (e) There shall be no exterior display, external storage of materials or other indication of the *home occupation* or variation from the residential character of the property.

- (f) The *home occupation* shall be operated so as not to attract pedestrian or vehicular traffic between the hours of 10.00pm and 7.00am the following day.
- (g) The *home occupation* may not use equipment which creates electrical interference with television and radio sets on neighbouring properties.
- (h) Only goods directly produced or assembled by the *home occupation* may be sold or offered for sale from the *site* on which the *home occupation* is conducted– in accordance with the rules for *produce stalls* in 8.4.1.3.

(Note: Assembled means putting together pre-fabricated parts to make a product)
- (i) *Home occupations* shall not include a business or trade that involves panel beating, spray painting, mechanical repairs to vehicles and machinery, engineering work, animal boarding or bee keeping.

(2) EDUCATION AND TRAINING FACILITIES AND OFFICES

- (a) The maximum *gross floor area* occupied by the activity shall not exceed 150m² per *site*.
- (b) The activity shall be operated so as not to attract pedestrian or vehicular traffic between the hours of 7.00pm and 7.00am the following day.
- (c) No exterior indication of the activity, including the display or storage of materials, shall be visible from the street, except for permitted *signage* and parking.
- (d) For *education and training facilities* there shall be no more than 10 students or children receiving tuition or being cared for on the *site* at any one time.
- (e) The activity shall be designed to ensure that the maximum occupancy of fulltime equivalent staff on the *site* is four.
- (f) *Education and training facilities* shall not have their vehicular access to or from a no-exit *road*.
- (g) *Education and training facilities* shall not include courses involving practice in panel beating, spray painting of vehicles or engineering.

(3) COMMUNITY HOUSING AND VISITOR ACCOMMODATION

- (a) The total *gross floor area* of the *building(s)* used for the activity (excluding *accessory buildings* not used for accommodation purposes) shall not exceed 250m² per *site*.
- (b) No more than ten persons (including live in staff) shall be accommodated on the *site*.

(4) COMPREHENSIVE RESIDENTIAL DEVELOPMENT

- (a) The minimum *net site area* shall be 2000m².
- (b) Includes an area capable of containing a 35 metre by 35 metre square excluding any required *yard setbacks*.
- (c) No vehicular access to or from a no- exit *road* or *state highway*.

- (5) **LAND SUBJECT TO INUNDATION AS IDENTIFIED ON THE PLANNING MAPS**
- (a) No more than 45% of the area within the *site* that is *subject to inundation* as identified on the planning maps shall be covered by *buildings* and/or covered in an impermeable surface or vegetation (other than grass or similar), or otherwise made unavailable to inundation (eg. by bunding or solid fencing), or be subject to *exploration*, excavation and filling.
- (6) **WAIHI, PAEROA AND WHIRITOA: CONTROLLED ACTIVITY STANDARDS FOR TWO OR MORE DWELLINGS PER CERTIFICATE OF TITLE (REFER TO 5.7.4.2 C5)**
- (a) Each *dwelling* must meet the Activity Specific Standard 5.7.6(5), Subdivision Standards (refer to 9.4.3.1(1)), and District Wide Performance Standards for Development and Subdivision (refer to Section 8) as if the *certificate of title* is to undergo subdivision in future.
- (7) **WAIHI, PAEROA AND WHIRITOA: RESTRICTED DISCRETIONARY ACTIVITY STANDARDS FOR MINOR DWELLING UNITS (REFER TO 5.7.4.3 RD3)**
- (a) A *minor dwelling unit* must be located on a *site* with a *net site area* of no less than:
- (i) 650m² per associated *dwelling* if the *site* has a connection to the Council's reticulated sewer network; or:
- (ii) 2,500m² per associated *dwelling* if the *site* is not connected to the Council's reticulated sewer network.
- (b) A *minor dwelling unit* located on a *site* that is *subject to inundation* as identified on the planning maps must not result in a breach of Activity Specific Standard 5.7.6(5).
- (c) **Bulk and Location**
- (i) A *minor dwelling unit* must be located to comply with the following Zone Development Standards for *Permitted* and *Controlled Activities* (refer to 5.7.5):
- (1) Maximum *height*;
- (2) *Daylight control*;
- (3) Minimum *Yards*;
- (4) Maximum *site coverage*;
- (5) Traffic noise sensitivity and;
- (6) Privacy and separation.
- (ii) A *minor dwelling unit* must share the same vehicle entrance and driveway access as the associated *dwelling* on the same *site*.
- (d) **Outdoor Living Area**

A *minor dwelling unit* must have an *outdoor living area* with a minimum area of 30m², able to contain a rectangle with dimensions no less than 3m by 4m, and having a minimum dimension in all directions of 1.5m.

(e) Domestic wastewater treatment and disposal

- (i) A *minor dwelling unit* that is not connected to the reticulated sewerage system must show details of the design and lay-out of the proposed on-site domestic effluent system including evidence that the system either complies with the *permitted activity* standards of the Waikato Regional Plan or the terms of a site specific discharge consent.

5.7.7 ASSESSMENT CRITERIA FOR DISCRETIONARY ACTIVITIES

When assessing any application for a *Discretionary Activity*, Council shall have regard to the relevant *development standards*, activity specific standards, environmental results and assessment criteria for *Permitted*, *Controlled* and *Restricted Discretionary Activities* in Rules 5.7.4 to 5.7.6, and the relevant General and Activity Specific assessment criteria below, and any other matters it considers appropriate.

5.7.7.1 GENERAL ASSESSMENT CRITERIA

- (1) Whether traffic movements resulting from the activity will have any significant impact on the safe and efficient operation of any public *road*. Pertinent matters for consideration in this regard are:
- (a) the carrying capacity, standard and status in the roading hierarchy of the *road* concerned;
 - (b) the ability of the *site* to accommodate the activity requirements for on-site parking, loading and *manoeuvring areas*;
 - (c) the means by which any likely adverse traffic effects can be avoided, remedied or mitigated;
 - (d) the access, parking and loading standards for *Permitted Activities* that shall be used as a guideline in assessing applications for *Discretionary Activities*;
 - (e) the comments of New Zealand Transport Agency on the possible adverse effects on the safe and efficient operation of the *state highway* network, where access is from or in the vicinity of a *state highway*.
- (2) The degree to which the activity will cause demands for the uneconomic or premature upgrading or extension of public services, including roading, which are not in the interests of the District or locality.
- (3) Whether *buildings* are sufficiently set back from the boundaries of neighbouring properties to avoid causing a nuisance by way of overshadowing, obstruction of views, noise, glare and loss of privacy.

- (4) The degree to which the location of *buildings* is such as to retain clear visibility along urban *roads* and to provide space for vehicle access and loading on the *site* clear of the *road*.
- (5) The extent to which the development's design maintains or enhances the anticipated scale, character and *amenity* of the residential neighbourhood.
- (6) The extent and quality of any proposed *landscaping* and/or retention of existing vegetation on the *site* and the effectiveness of planting in enhancing the streetscape of the area.
- (7) The location of carparking on-site in relation to *residential activities* (both on and off-site) and the extent of adverse effects on the visual and aural privacy of these *residential activities*.
- (8) The extent of potential reduction in the availability of on-street parking for residents, occupants or visitors to the *site* or neighbourhood.
- (9) Whether any *signs* proposed detract from the *amenities* of the area.
- (10) The extent to which the activity is self-contained, with regard to stormwater drainage, effluent disposal and water supply within the boundaries of the *site* on which the activity is located (except where reticulated services are provided).
- (11) Whether the nature of the activity has the potential to create nuisance and health and safety effects, such as noise, vibration and dust, which cannot effectively or practically be controlled by mitigation measures.
- (12) Whether the hours of operation are appropriate having regard to those persons likely to be affected by the activity.
- (13) Whether the activity and any *building* and *structures* are of a scale and intensity which is in keeping with the character, *amenity* and ambience values of the existing urban *environment*.

5.7.7.2 UNDERGROUND MINING AND EXPLORATION

- (1) Whether public safety is adequately provided for and adverse effects of vibration in the ground can be adequately mitigated.
- (2) Whether acceptable plans for the rehabilitation of all disturbed areas have been provided, including implementation programmes.

5.7.7.3 ACTIVITIES/DEVELOPMENT WITHIN WHIRITOA

- (1) Whether the activity and any *buildings* and *structures* are of a scale, intensity and character to protect coastal natural character, maintain the *amenities* of the existing built *environment*, and recognise the potential for coastal erosion.

Proposed Plan Change 6: Extension of Martha Mineral Zone

Notification Summary

OceanaGold (New Zealand) Limited (OceanaGold) has applied to the Hauraki District Council for a private plan change to rezone 47 properties in Waihi, in the vicinity of the existing Martha Pit, to Martha Mineral Zone (the Proposed Plan Change).

The 47 properties are owned by, or under the control of, OceanaGold, and include 15 properties currently located within the Town Centre Zone, 25 properties currently located within the Residential Zone and 7 properties currently located within the Low Density Residential Zone.

The purpose of this privately initiated plan change application is to expand the boundaries of the existing Martha Mineral Zone around the Martha Pit to enable future resource consent applications to be made for 'surface mining' associated with a further cutback of the Pit. It does this by proposing the expansion of the Martha Mineral Zone around the Martha Pit to include those additional properties which could potentially support a further cutback and/or activities ancillary to surface mining. In doing so, the proposed rezoning would remove the current prohibited activity status that applies to surface mining on these properties by rezoning them to Martha Mineral Zone - meaning a resource consent application (for a discretionary activity) is required to be made that could either be granted or declined.

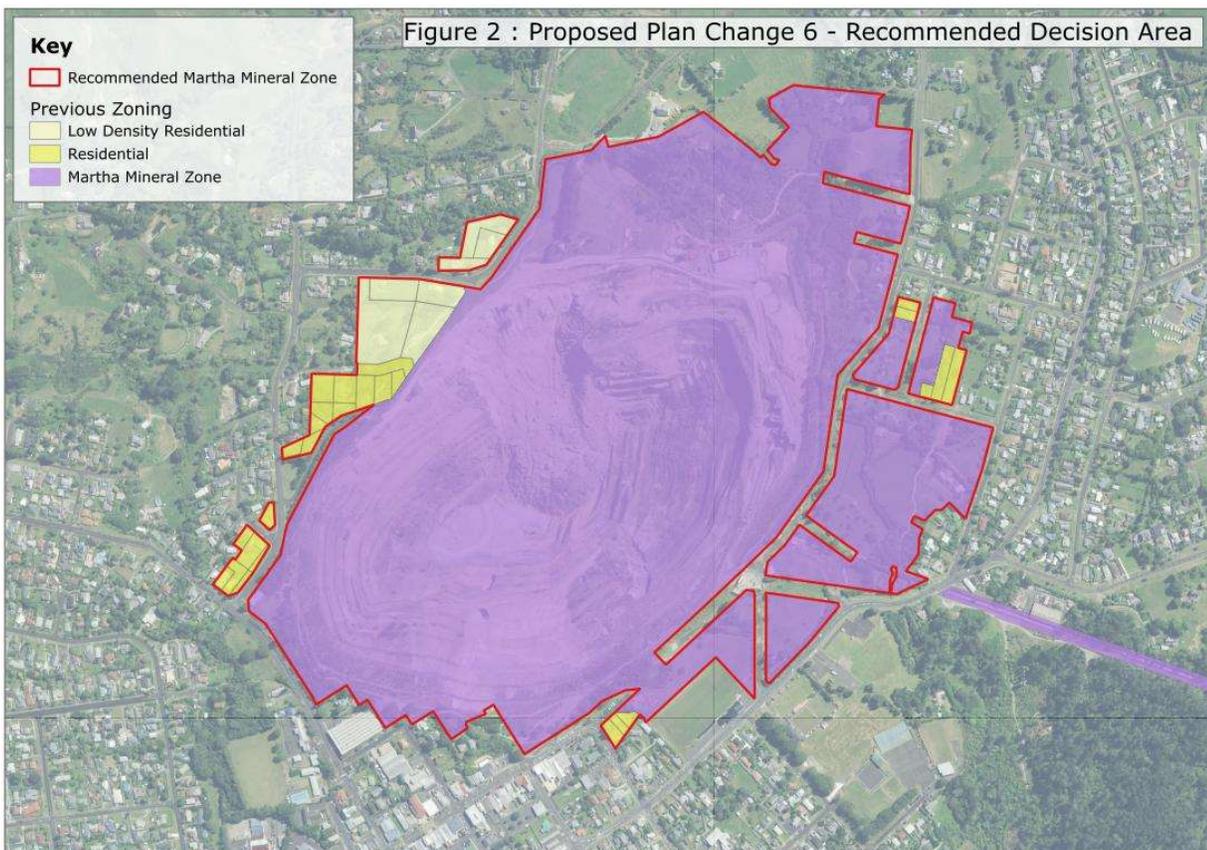
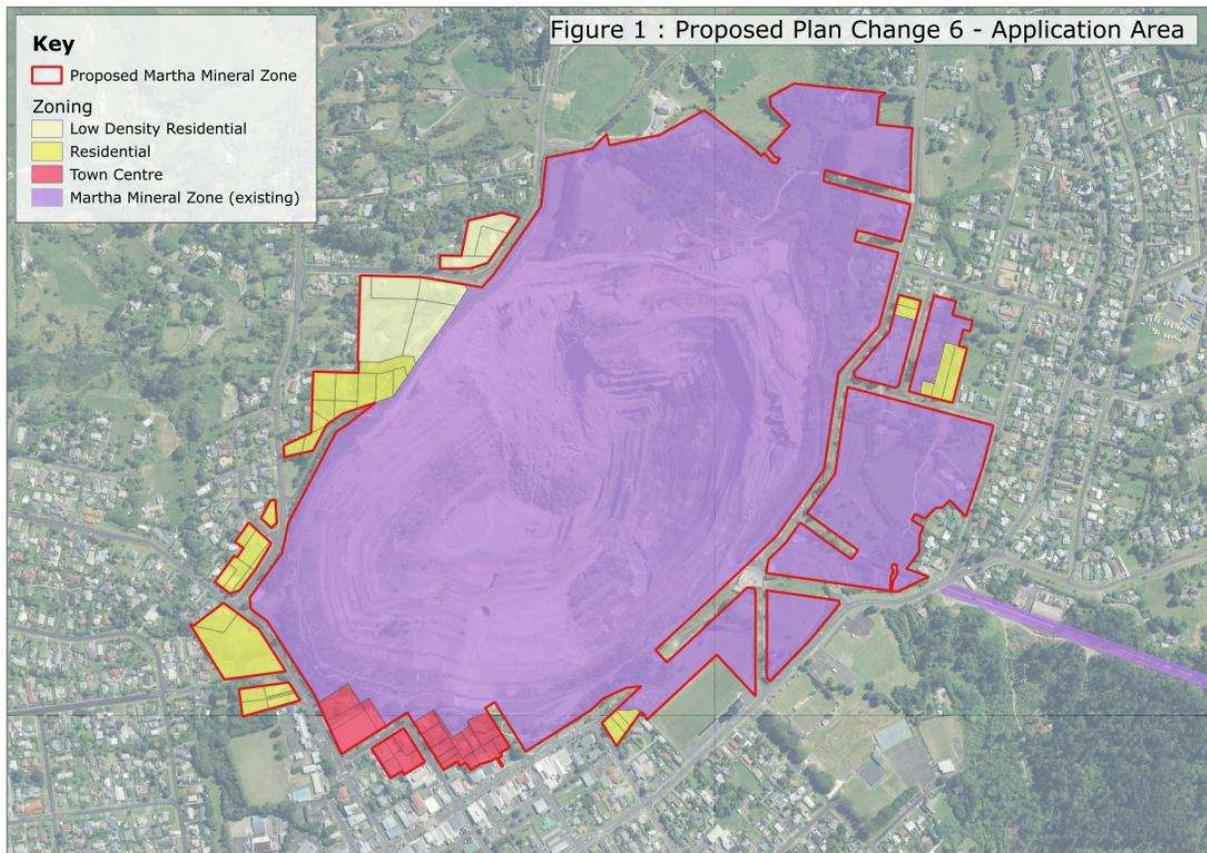
Other key elements of the Proposed Plan Change are:

- Amending the zone purpose for the Martha Mineral Zone (Section 5.17 of the Hauraki District Plan) to:
 - reflect how the extent of the zone and development within it has occurred over time,
 - acknowledge the relationship of mana whenua with Pukewa maunga (Martha Hill), and
 - explain the distinction between those provisions that apply across the Martha Mineral Zone generally and those exclusively associated with any future expansion of the Martha Pit;
- Amending the singular objective of the Martha Mineral Zone to include reference to providing for the rehabilitation of natural and physical resources that may be affected by mining activities in the Martha Mineral Zone, in addition to providing for the utilisation of the mineral resource in a sustainable manner;
- The inclusion of new policies and assessment criteria specific to the potential expansion of the Martha Pit in the Martha Mineral Zone. This includes specific policy recognition of the relationship of mana whenua with Pukewa maunga and the need to ensure measures are implemented as part of any expansion of the Martha Pit that provide for the wairua or mauri of the maunga to be rehabilitated and/or enhanced;
- The inclusion of a new permitted activity rule for the demolition or removal of buildings in the Martha Mineral Zone; and
- The insertion of new noise performance standards for permitted and restricted discretionary activities in the Martha Mineral Zone (via Section 8.3.1 of the Hauraki District Plan).

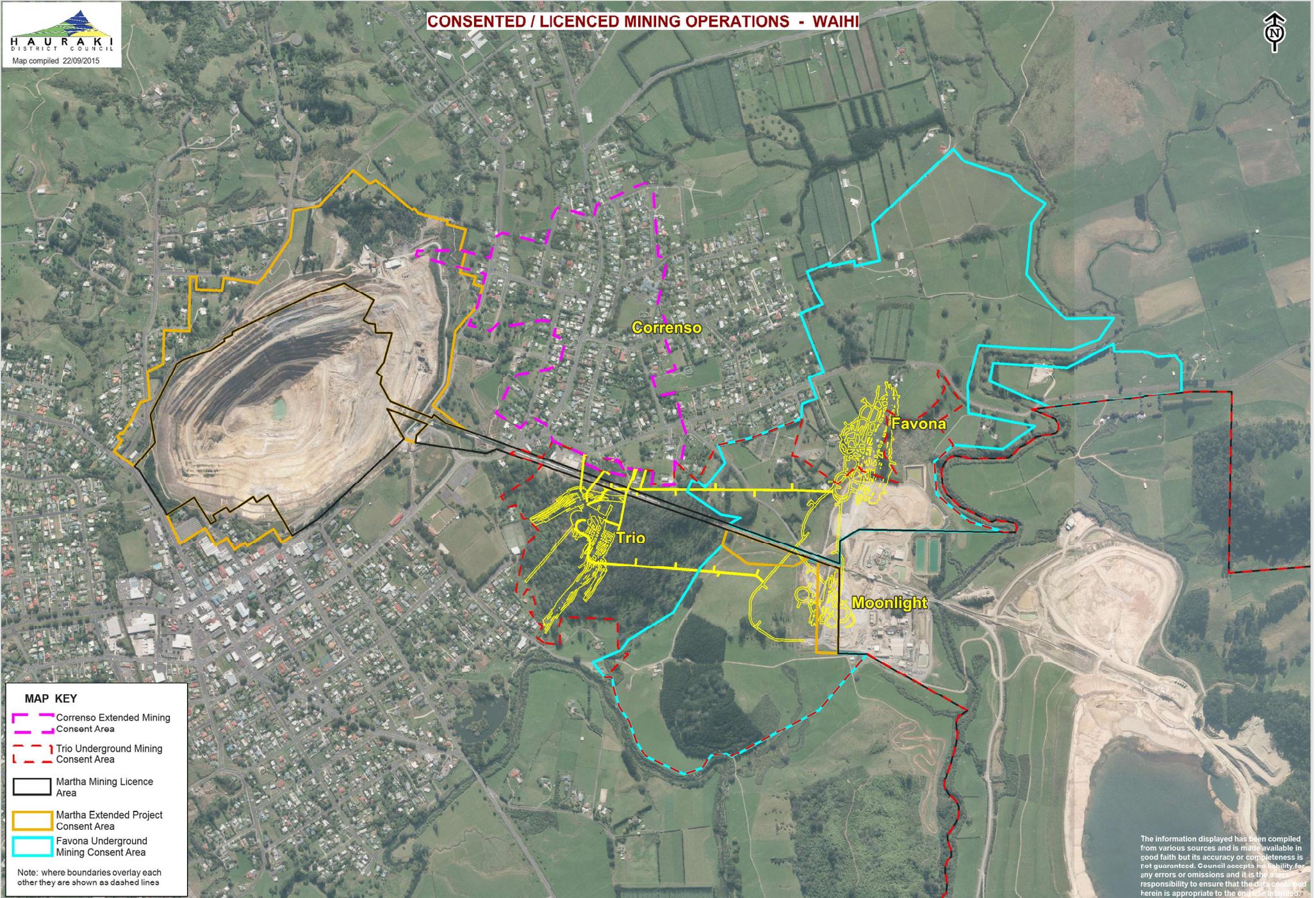
Attached is a map showing the proposed extension of the Martha Mineral Zone.

If you have any questions about this private plan change application, then please contact either Marina van Steenberg or Leigh Robcke at 07 862 8609 at the Hauraki District Council.

Appendix 1



CONSENTED / LICENCED MINING OPERATIONS - WAIHI

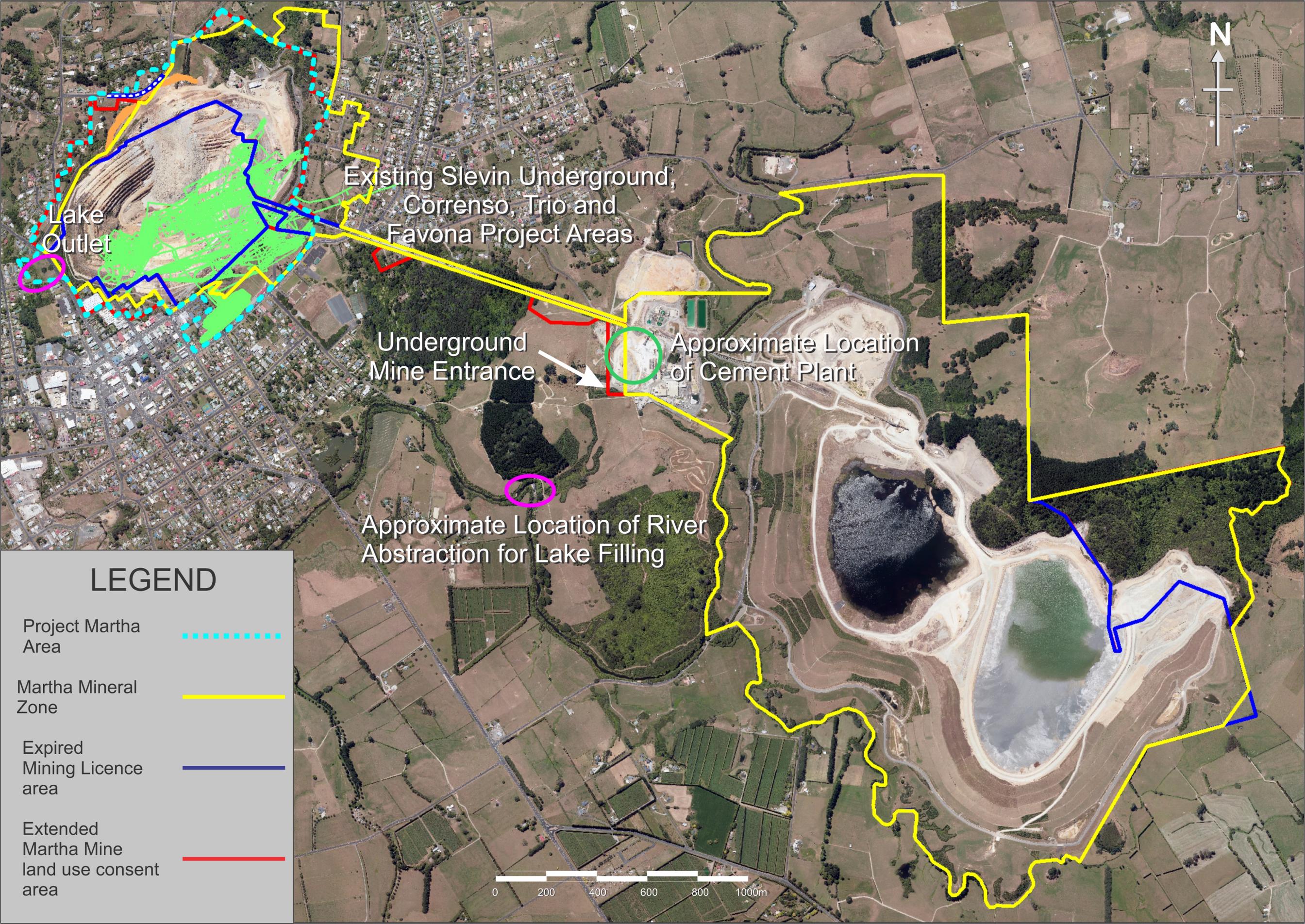


MAP KEY

- Correnso Extended Mining Consent Area
- Trio Underground Mining Consent Area
- Martha Mining Licence Area
- Martha Extended Project Consent Area
- Favona Underground Mining Consent Area

Note: where boundaries overlay each other they are shown as dashed lines

The information displayed has been compiled from various sources and is made available in good faith but its accuracy or completeness is not guaranteed. Council accepts no liability for any errors or omissions and it is the user's responsibility to ensure that the data contained herein is appropriate to the end use intended.



Existing Slevin Underground,
Correnso, Trio and
Favona Project Areas

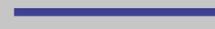
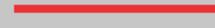
Lake
Outlet

Underground
Mine Entrance

Approximate Location
of Cement Plant

Approximate Location of River
Abstraction for Lake Filling

LEGEND

- Project Martha Area 
- Martha Mineral Zone 
- Expired Mining Licence area 
- Extended Martha Mine land use consent area 



THE PROPOSED WAIHI NORTH PROJECT OVERVIEW

- Wharekirauponga Underground Mine
- Gladstone Open Pit
- Tailings Storage Facility 3
- Northern Rock Stack
- Processing Plant Upgrade

ABOUT THE WAIHI NORTH PROJECT

When we acquired the Waihi Mining operations in 2015, OceanaGold made a commitment to the New Zealand Government to invest in extending the life of mining in Waihi. We obtained consents for, and have since begun, operation of our Martha Underground Mine at Waihi. We also undertook extensive exploration in the area, as laid out in our Waihi District Study released July, 2020. This exploration programme included our announcement, in February 2019, of a gold and silver resource deposit beneath Wharekirauponga and at the location of the proposed Gladstone Open Pit.

Since then we have undertaken further technical and exploration studies, which have confirmed the viability of an underground mine at Wharekirauponga. As a result, we can now share our intentions with respect to applying for consents to develop an underground mine at Wharekirauponga and construct the related infrastructure to support this.

We have named this the Waihi North Project.

The Waihi North Project will integrate with the already consented mining activities at Waihi and has five main components:

1. Wharekirauponga Underground Mine – A new underground mine at Wharekirauponga, just north of Waihi, and associated infrastructure at a portal entrance on private land at the end of Willows Road, Waihi.
2. Gladstone Open Pit – A pit directly to the west of the OceanaGold Waihi Processing Plant.

3. Tailings Storage – Increasing tailings storage capacity by constructing a third tailings storage facility (TSF3) immediately east of the current facilities and adding tailings storage within the Gladstone open pit on completion of mining.

4. Northern Rock Stack (NRS) – A rock storage facility to the north of the current tailings storage facilities.

5. Processing Plant Upgrade – Increasing throughput capacity at our existing Processing Plant.

Formal applications for consents will be made later in the year, and we will continue to work closely with stakeholders and conduct further studies.

These proposed projects stand to create several hundred additional jobs in the region and produce billions of dollars of exports over the coming years. This will continue to support Waihi and the region's development, as gold and silver mining has done for over 100 years.





ABOUT US

OceanaGold Corporation is a gold producer with over 30 years of operating sustainably in New Zealand. The company was founded in New Zealand, at Otago's Macraes operation (which it continues to operate), and has built an international portfolio as one of the most progressive gold miners in the world.

OceanaGold's acquisition of Waihi Gold in 2015 deepened the company's Kiwi roots, enabling it to share decades of mining innovation and leadership to advance the development of Waihi's gold and silver resources.

At Waihi, we currently operate a successful underground mining operation and are actively exploring in the region.

We also have underground and surface mines at the Macraes operation in the South Island, plus mines in the Philippines and the United States.

We are also actively closing a mine at Reefton in the South Island, having successfully and

sustainably operated that mine on Department of Conservation administered Forest Park.

Sustainability is fundamental to the way we do business. OceanaGold has a proven track record of working within a tight regulatory framework including key conditions relating to vibration, noise, dust, ground surface stability, flora and fauna, and water management.

We are committed to mining responsibly, managing our effects and, more broadly, ensuring this project makes a positive contribution to our host communities and society, and to the natural values of the area.

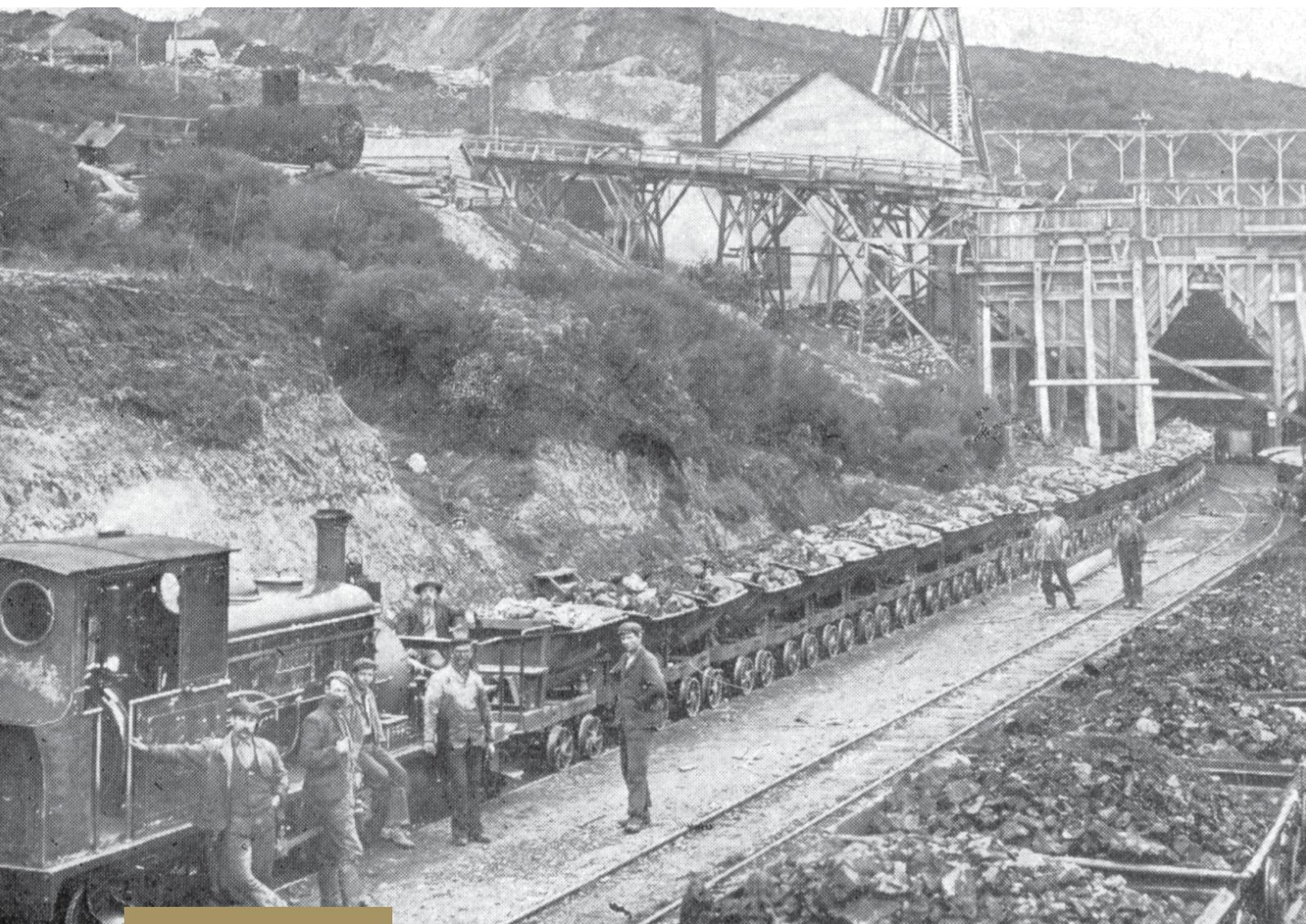


BUILT
A.D. 1898

WAIHI'S GOLD MINING HISTORY

Waihi has long been a leading producer of gold and silver, supporting regional economies, contributing to New Zealand's exports, and driving innovation in mining technology and practices.

The historic Martha Mine (1878 – 1952) was one of the most important gold and silver mines in the world, and the current mining operations remain vital to Waihi and the region. If consented, the Waihi North Project will see Waihi embark upon a new era in gold and silver production that will help sustain it well into the future.



WORKING TOGETHER

We believe that understanding and respecting diverse viewpoints is a vital step toward finding common ground and achieving sustainable outcomes. Ultimately, we want the project to proactively contribute to the goals and aspirations of the communities with an interest in the area.

OceanaGold Waihi is committed to a long-term partnership with the community and it is important to us that you have reliable information about what we are proposing and what it means to you.

YOUR INPUT

Before we can start any project, we must often obtain approvals such as resource consents. As part of that process, and before we formally apply for consents, we want to get the community's input on any proposed project.

SOCIAL IMPACT ASSESSMENT

As part of this project development, we will be conducting a Social Impact Assessment – this is an independent study that is designed to identify and help us manage the effects of the proposed project on the wider communities' lifestyles, cultures, health, environments, and quality of life. The Social Impact Assessment process will involve working with wider communities to gather information using surveys, interviews, focus groups, and one-on-one meetings.

We welcome inquiries from anyone looking to learn more about the project.

OUR COMMITMENT

OceanaGold Waihi is committed to making positive contributions to the sustainable development of the region. Consultation will help inform us of the wider communities' values and aspirations. From this, we will develop and partner in sustainable community development initiatives.

THE CONSENTING PATHWAY

The Waihi North Project is an

important project that will bring major employment and economic benefits to the district through 2037 and beyond. OceanaGold Waihi are investigating the appropriateness of different consenting pathways.

Regardless of the consenting pathway, prior to applying for consent, we will share more in-depth details of the project with affected and interested stakeholders and provide them opportunities to give input towards the final project design.





THE WAIHI NORTH PROJECT

Gold was first discovered at Wharekirauponga in the 1890s. Modern exploration for gold began at Wharekirauponga in the 1970s, with several mining companies conducting significant exploration campaigns in the area throughout the 1980s and 1990s. Newmont continued this exploration through the 2000s until OceanaGold purchased the Waihi operations and ongoing exploration programme in 2015, before finalising ownership of the interest at Wharekirauponga in 2016.

Since acquiring the Wharekirauponga interest, OceanaGold Waihi has undertaken further technical studies, including approximately 32 km of exploration drilling.

As a result of an extensive exploration programme, we have identified additional ore deposits that we are looking to mine through the proposed Waihi North Project.

The project will integrate with already consented mining activities and has five main components:

1. Wharekirauponga Underground Mine – A new underground mine at Wharekirauponga, just north of Waihi, and associated infrastructure at a portal entrance on private land at the end of Willows Road, Waihi.
2. Gladstone Open Pit – A pit directly to the west of the OceanaGold Waihi Processing Plant.
3. Tailings Storage – Increasing tailings storage capacity by constructing a third tailings storage facility (TSF3) immediately east of the current facilities and adding tailings storage within the Gladstone open pit on completion of mining.
4. Northern Rock Stack (NRS) – A rock storage facility to the north of the current tailings storage facilities.
5. Processing Plant Upgrade – Increasing throughput capacity at our existing Processing Plant.

If consented, the Waihi North Project has the potential to produce over 1

million ounces of gold and over 1.4 million ounces of silver over a 14-year period, complementing the already consented Project Martha and extending the life of mining in Waihi to 2037.

INTEGRATION

All elements of the Waihi North Project are linked and interact with each other. Integration with our existing mining activities and infrastructure is a critical aspect of the proposal. Much of our existing mining infrastructure will be used to process, store, and dispose of material extracted as part of the Waihi North Project.

Additional technical studies for the proposed Waihi North Project are ongoing. We will share more in-depth details of the project as they become available.

POSSIBLE TIMELINE

Any final timeline for the development of the project is conditional on obtaining regulatory approvals, subject to final project design. However, our proposed

project anticipates development along the following lines:

1. The Waihi North Project will commence with site preparation for the TSF3, NRS, and the Gladstone Open Pit and include repositioning of the current underground access portal. Construction of the Wharekirauponga Underground Mine surface infrastructure also begins, to be followed by initial tunnelling works.
2. Once full mining activities are underway in the Gladstone Pit, the NRS and TSF3 will begin operation.
3. Once the orebody under Wharekirauponga is reached, mine development and stoping will begin.
4. When mining of the Gladstone Pit is complete, it will be lined and used for tailings storage before final rehabilitation.
5. The Wharekirauponga Underground Mine will be progressively backfilled during operation, similar to our existing underground mines, and once completed the mine will be sealed and rehabilitated.





REHABILITATION

We acknowledge that the proposed Waihi North Project, if approved, will result in localised impacts on the environment; these will be mitigated in the long term through rehabilitation and remediation activities.

Rehabilitation is a major part of OceanaGold's approach to modern mine planning. The Waihi North Project will be designed to ensure adequate resources for rehabilitation and mine closure are included. Rehabilitation of disturbed areas will progress as areas become available and will be ongoing throughout the life of the Waihi North Project.

THE POST MINING ERA

As part of the Waihi North Project we are making a commitment to work collaboratively with our local communities to create opportunities, build resilience, and leave a positive, long-lasting legacy well beyond the mining life cycle.

All mining undertaken by OceanaGold in New Zealand is supported by bank guarantees (bonds) covering the full estimated cost of rehabilitation, which are also adjusted annually. These operate under the independent oversight of the relevant District and Regional Councils.

All OceanaGold Waihi operations have closure plans in place that are reviewed annually, and the Waihi North Project will be incorporated into these plans. In preparing these plans we will consult with our stakeholders in relation to economic impact, employment, post-closure environmental impacts, and public health and safety to ensure that what we propose will leave a positive legacy for the community.

LOOKING TO THE FUTURE

The Waihi North Project has the potential to play a meaningful role in supporting the regional economy in the coming years, providing economic benefits and job security. The project will require a larger workforce, creating several hundred new, high-quality jobs, whilst continuing to engage a range of local and regional suppliers.

More than just economic considerations however, this project also represents an opportunity for OceanaGold Waihi to incorporate social, cultural, and environmental benefits within the project design itself – creating improvements over and above what would occur in absence of the project and resulting in a net gain to the Waihi area.

The Waihi North Project signifies a long-term commitment to, and investment in, the wider region. If consented, the project will extend operations to 2037 and beyond, longer than any single previous outlook.

BIODIVERSITY

The Wharekirauponga area is home to several native and endemic species. Measures to improve future outcomes for biodiversity, including the Archey's Frogs, will be integral to the project.

We understand that native bush and its biodiversity is precious to all of us. Our extensive ecological studies, including work we have done during our exploration phase, are already providing the scientific and ecological community with a greater insight into the species that inhabit this area.





THE WHAREKIRAUPONGA UNDERGROUND MINE

The proposed Wharekirauponga Underground Mine is located north of Waihi, beneath Forest Park administered by the Department of Conservation (DOC).

This mine would be accessed via an underground tunnel from private land on Willows Road, outside the Forest Park, allowing us to minimise our surface impacts.

An interconnecting ore transport tunnel back to our existing Processing Plant allows us to transport materials in and out of the Wharekirauponga area without vehicles on public surface roads.

We recognise the significance and sensitivity of the Wharekirauponga area and its ecology, which is an important recreational area, and home to several native and endemic species. That's why any potential mining operation we may undertake within the Forest Park would **only be underground – not at the surface level.**

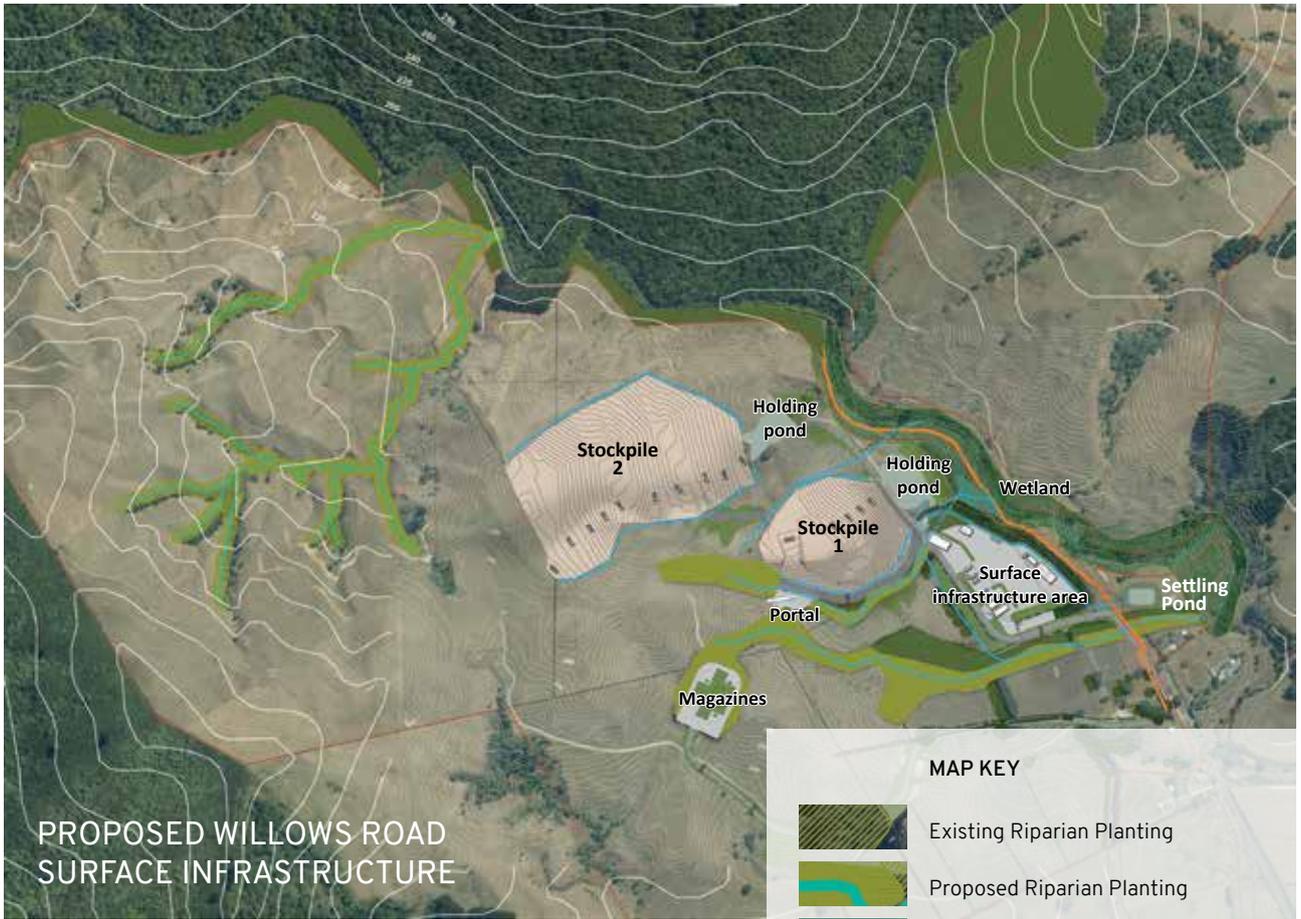
The Wharekirauponga Underground Mine consists of four sub-components:

- A Dual Tunnel to the orebody – We are proposing a 6.8 km dual decline tunnel system that extends from a portal on private land at the end of Willows Road Waihi, to the base of the Wharekirauponga resource.
- Ventilation Raises – These are required for air circulation and to provide an emergency exit from the orebody tunnel. The current tunnel

proposal would require a total of four ventilation raises close to the mining area. Suitable locations are currently being investigated.

- Willows Road Surface Infrastructure – To facilitate the construction and maintenance of the tunnels, some surface infrastructure will need to be constructed at the Willows Road property.
- A 4.7 km Tunnel to the Waihi Processing Plant – To return material from the Willows Road Portal to our processing facilities in Waihi.







ACCESS TUNNELS

DUAL DECLINE OREBODY ACCESS TUNNEL

We are proposing a 6.8 km dual decline tunnel that extends from a portal on private land at the end of Willows Road, Waihi, to the base of the Wharekirauponga resource.

A dual decline tunnel consists of two tunnels running in parallel, with short connections between the two created every few hundred metres. Bulkheads are also installed on these connections, providing the ability to seal one tunnel from another as needed for standard air flow and water egress considerations, or in the unlikely event of an emergency situation. This design provides a high level of airflow throughout the mine and minimises the number of ventilation raises that are required at the surface.

Tunnelling would continue until the orebody at Wharekirauponga is reached. Upon reaching the orebody, development drives would be undertaken to allow mining to commence. These development drives would be similar to the drives that have been successfully constructed for the existing underground operations in Waihi.

INTERCONNECTING ORE TRANSPORT TUNNEL

A single 4.7 km long tunnel would be constructed from the Willows Road farm to the Waihi Processing Plant, linking to the dual decline tunnel system. This will primarily be utilised for the transportation of ore from the underground mine back to the Waihi Processing Plant once mining begins.

The tunnel could also provide general operational access between the Wharekirauponga Underground Mine and the Waihi Processing Plant.

ABOUT THE TUNNELS

These tunnels would be developed using a drilling and blasting method. This method would use modern drilling jumbos, rock loading units, and supporting equipment. This is similar to how we currently develop drives in our underground mining operations at Waihi. The drilling jumbo would be electric. Other tunnelling equipment including loaders, haul trucks, and service vehicles would be battery operated where possible.

Rock extracted through the tunnelling process would be loaded into trucks

and then hauled to one of two temporary surface stockpiles at Willows Road. The stockpiles would be lined with a low permeability base and would have a maximum height of 15 m above the existing topography. As mining progresses, this rock would be returned into the Wharekirauponga Underground Mine for backfilling purposes.

Technical studies and consultation around final tunnel alignments is ongoing.

HOURS OF OPERATION

OceanaGold Waihi is proposing that the Wharekirauponga Underground Mine would operate 24 hours a day, seven days a week.





EFFECTS

NOISE

If the Waihi North Project is approved, we will be required to manage our activities so that we comply with strict noise limits set through the regulatory approvals process.

There are a range of noise management measures that may be implemented to meet these requirements, including:

- Equipment selection and maintenance.
- Cladding to reduce noise.
- Limiting the height of stockpiles.
- Acoustic cladding around potentially noisy machinery.

BLASTING AND VIBRATION

A key consideration for OceanaGold Waihi in developing the proposed Waihi North Project is any potential amenity effects our operations may have on residents.

Willows Road Portal

Due to the location and direction of the dual decline tunnel system to the orebody, residents close to the Willows Road portal are unlikely to experience any reduction in amenity due to vibration from its development.

Interconnecting Ore Transport Tunnel

We are still finalising the technical studies for the tunnel alignment back to the Waihi Processing Plant. Any associated amenity effects on property in relation to the tunnel would only be temporary and localised during the development stage. Once the tunnel is completed there would be no appreciable ongoing effects to amenity.

AIR QUALITY

If the Waihi North Project is approved, we will be required to comply with consent conditions for air quality set through the regulatory approvals process. This will require OceanaGold Waihi to produce an Air Quality Management Plan.

There are a range of air quality management measures that may be implemented to meet these requirements, including:

- Applying dust suppression methods.
- Keeping stockpiles low so wind is less likely to spread dust.
- Planting pasture, shrubs, and trees as soon as rehabilitation areas are available.

- Washing vehicles before leaving site to travel on public roads.

GROUND SETTLEMENT

By utilising proven mining techniques, we will protect from the negative impacts of surface settlement both at the mine and along the tunnel route.

Mining of the orebody will occur entirely from the underground tunnel utilising the same proven methods we currently employ for our Correnso and Martha underground projects. Mining voids will be backfilled with rock as we progress.

DEWATERING

OceanaGold Waihi expects to encounter some water inflows during the operation of the mine. Water inflows, together with any water used in the mining process, would be pumped to surface holding ponds at the Willow's Road Portal. We are proposing that this water would then be pumped to the existing OceanaGold Waihi Water Treatment Plant for treatment if not suitable for onsite discharge. Boreholes would be drilled ahead of workings to detect water bearing structures and appropriate mitigation applied to avoid significant water inflows.



Wharekirauponga
Ore Body



PROPOSED WAIHI NORTH PROJECT

Conceptual Tunnel
Alignments

Proposed Dual Decline Orebody Access Tunnel

Proposed Willows
Road Portal

Proposed Ore Transport Tunnel

Proposed Ore
Transport Portal

MARTHA
MINE

WAIHI

PROCESSING
PLANT





VENTILATION RAISES

Ventilation raises, providing fresh air supply to the Wharekirauponga Underground Mine, would be required to supply sufficient air for a safe working environment and to provide emergency exits.

Based on the current design, we are proposing to construct five ventilation raises. Four of these would be within the Forest Park area, either on Forest Park administered by the Department of Conservation (DOC) or on unformed Hauraki District Council road reserve. The fifth would be located on private land off Willows Road near the tunnel portal.

OceanaGold Waihi is proposing that stringent ecological conditions be applied, to ensure that sites are appropriately selected to mitigate adverse effects on flora and fauna, habitat values, and to minimise landscape disturbance.

We will ensure minimal disruption and carry out detailed technical studies before we embark on any tunnelling. Studies are ongoing to ensure that the vent locations have minimal effect on the environment and are placed to avoid areas of high value habitat.

A drilling platform would be established on the preferred site and exploration, geotechnical, and hydrogeological drilling and analysis would be undertaken. Should the location be declared unsuitable, an alternative drill site would need to be established and the process repeated. The tunnel design will be finalised upon identification of suitable ventilation shaft locations.

These raises would be temporary structures in place for the life of the mine and would be fully rehabilitated

upon completion of mining. The construction of the ventilation raises would occur from the underground, with the final surface footprint being approximately 8 m x 8 m each.

A vent stack would be established at the top of each ventilation raise. These would be installed by helicopter and remain in place for the duration of the project. The surrounding disturbed area would be rehabilitated.





WILLOWS ROAD

SURFACE INFRASTRUCTURE

To facilitate the construction and maintenance of the tunnels, some surface infrastructure would need to be constructed at the Willows Road farm property.

SITE ACCESS ROADS

A sealed private road from the western end of Willows Road onto the site would need to be constructed. A haul road constructed of rock would be established from the portal to the rock stockpiles, with a connection to a workshop and a wash pad.

SITE SERVICES

Site services, such as power, fibre optic cable, and potable water would be brought to the site from the existing OceanaGold Waihi Processing Plant via a buried trench. Where required, this trench would also be used to transport water back to the existing OceanaGold Waihi Water Treatment Plant. The proposed trench route is still being investigated.

OFFICE AND CHANGE HOUSE

At the site of the portal, an office and changing rooms would be established. These would be comprised of modular, temporary style buildings with an approximate footprint of 250 m². Power and water connections would also need to be arranged, and a sewage system installed.

SERVICE WORKSHOP AND REFUELLING

OceanaGold Waihi is proposing to build a temporary service workshop constructed from shipping containers. The workshop would include a sealed undercover area of approximately 400 m². Re-fuelling would be undertaken via a dedicated fuelling

truck until the tunnel had progressed, at which point an appropriately certified tank would be installed underground.

ROCK STORAGE

Rock extracted through the tunnelling process would be stockpiled in the tunnel, loaded into trucks, and then hauled to surface stockpiles at the end of Willows Road. Two stockpiles of approximately 4 Ha each would be required to temporarily store this rock. The stockpiles would be lined with a low permeability base to minimise any seepage and would each be built to a maximum height of approximately 15 m above the natural topography.

Stockpile contact water would be collected in a holding pond and pumped back to the existing Waihi Water Treatment Plant for treatment if not suitable for discharge on site.

All rock from the tunnelling stockpiles will be progressively returned underground to backfill mined voids in the first four years from commencement of mining, approximately nine years after commencement of first site works.

Once the Willows Road rock stockpiles are exhausted, the stockpile sites will be rehabilitated and further rock for backfilling voids will be obtained from the NRS and transported using the interconnecting tunnel from the existing Processing Plant.

EXPLOSIVES MAGAZINES

Explosives magazines that conform to New Zealand hazardous substances regulations would be located on site. The locations are yet to be determined, but would be selected to ensure there are adequate offsets between publicly accessible land and existing structures.

The explosives magazines would be locked and securely fenced, with access strictly controlled.

PORTAL

A 6.5 m x 5.5 m portal on private land at the end of Willows Road in Waihi would form the entrance to the access tunnel. A second portal would also need to be established at the existing Waihi Processing Plant to provide access to the interconnecting ore transport tunnel.

Following geotechnical investigations to confirm the suitability of a portal location, earthworks would be undertaken to form these portals. Appropriate earthmoving equipment would be utilised and, if necessary, blasting would be used.

Once the face of the portals have been established they would be supported by steel arches, rock bolts, steel mesh, and concrete. Other service infrastructure would then be installed at each of the portals including temporary ventilation fans, water storage tanks, transformers, lighting, and a safety tag boards.





LIGHTING

To allow us to operate outside of daylight hours, lighting will need to be established around the proposed portals.

The lighting will be designed and located so that the amount of light is protective of the amenity of nearby residents.

NOISE

If the Waihi North Project is approved, we will be required to manage our activities so that we comply with strict noise limits set through the regulatory approvals process.

There are a range of noise management measures that may be implemented to meet these requirements, including:

- Equipment selection and maintenance.
- Construction and vegetation of noise bunds.
- Cladding to reduce conveyor noise.
- Limiting the height of stockpiles.
- Acoustic cladding around potentially noisy machinery.
- Closed board fencing.
- Acoustic noise wall on some sections of perimeter noise bund.

AIR QUALITY

If the Waihi North Project is approved, we will be required to comply with consent conditions for air quality set through the regulatory approvals process. This will require OceanaGold Waihi to produce an Air Quality Management Plan.

There are a range of air quality

management measures that may be implemented to meet these requirements, including:

- Watering haul roads and using sprinkler systems and water sprays where required.
- Dust collectors and filters on machinery.
- Applying dust suppression methods.
- Keeping stockpiles low, so the wind is less likely to spread dust.
- Planting grass to cover long-term stockpiles.
- Planting pasture, shrubs, and trees as soon as rehabilitation areas are available.
- Washing vehicles before leaving the site to travel on public roads.

PROPERTY DAMAGE

Consent conditions for vibration from the development of the ore transport tunnel will be set well below the level where property damage could occur. We know from the community, that there can be concern around what we would do if mine-related activity caused property damage. In recognition of this, we have a procedure in place to assist owners if they believe their property may have been damaged. If it is determined that property damage is attributable to our activities, OceanaGold Waihi will remedy the damage at our cost. Our experience in Waihi with our Correnso and Martha Underground mines shows that this approach works well and provides assurance to property owners on land above any underground infrastructure.

ENVIRONMENTAL NET GAIN AND BIODIVERSITY

A key project commitment is to initiate and sustain an environmental net gain throughout the life of the project, such that the immediate area and environment is left in an improved state from an ecological perspective than had the project not taken place.

At the Willows Road infrastructure area, we plan to:

- Protect natural environmental and ecological assets identified on the land as part of the independent ecological surveys and assessments undertaken.
- Develop alternate and enhanced water courses where diversions are necessary to establish site infrastructure. This will include riparian zone establishment and stock exclusion measures.
- Undertake early screen planting to enhance visual aspects of the development for neighbours and the community.
- Fence unaffected tributaries, streams, identified natural wetland, and remnant bush areas to exclude stock and establish a programme of riparian zone improvement in these areas. This would include removal of perched culverts and similar structures which currently form a barrier to appropriate native fish migration in the tributaries.
- Re-establish and enhance water courses once stockpiles are removed.





CLOSURE AND REHABILITATION

At closure of the Wharekirauponga Underground Mine, all vent stacks would be removed, and the ventilation raise shafts would be closed. The shaft collars would be covered over and prepared to encourage natural revegetation.

The effectiveness of this rehabilitation would be monitored and managed for a period of no less than five years following closure to ensure the success of the remediation.

The tunnel portals will be securely sealed, and the entrances backfilled

with rock prior to the placement of topsoil.

A minimal amount of rock may not be returned underground as backfill. This rock would be sealed with a capping layer and rehabilitated with topsoil and planting.

All surface infrastructure at Willows Road will be removed, and footprint areas fully rehabilitated.





GLADSTONE OPEN PIT

Recent exploration work has identified a new open pit mining opportunity in the Waihi area. As part of the Waihi North Project, OceanaGold Waihi will seek regulatory approvals for this pit on Company-owned land near our Processing Plant. The Gladstone Open Pit will be much smaller than the Martha Open Pit and will mine out parts of Gladstone Hill and Winner Hill.

Once the Gladstone Pit is no longer being mined, it will be lined, backfilled with tailings, then capped.

OVERVIEW

The pit will have a depth of around 140 m below the top of Gladstone Hill, and about half that below the foot of Gladstone Hill. The length of the pit will be around 600 m. At its widest point, the pit will measure a little over 300 m.

To accommodate the new pit, the following preliminary works will need to be conducted:

- An area planted in pine will need to be cleared.
- Topsoil will be removed and stockpiled for use in rehabilitation upon completion of the project.
- The construction of noise bunds, screens, and clean water diversion drains.
- The relocation of the existing underground mine portal and its infrastructure.
- Re-establishing the portal and portal infrastructure within the Gladstone Pit.
- A crusher will be established on the northern side of the existing conveyor. This will allow for rock material to be conveyed across the Ohinemuri River to the TSFs and NRS.
- Re-align the gravel road from the end of Clark Street to access the motocross track.
- Relocation of a section of the mountain bike track.





HOURS OF OPERATION

OceanaGold Waihi is proposing that the Gladstone pit operate 24-hours-a-day, seven days a week.

EFFECTS

NOISE

If the Waihi North Project is approved, we will be required to manage our activities at the Gladstone Open Pit so that we comply with strict noise limits set through the regulatory approvals process.

There are a range of noise management measures that may be implemented to meet these requirements, including:

- Equipment selection and maintenance.
- Construction and vegetation of noise bunds.
- Limiting the height of stockpiles
- Acoustic cladding around potentially noisy machinery.
- Closed board fencing.
- Acoustic noise wall on sections of perimeter noise bunds.

BLASTING AND VIBRATION

Drilling and blasting in the pit will be required for the removal of ore and rock, although some of the upper areas may be excavated without blasting.

It is proposed that blasting will occur daily between Monday and Saturday; 7:00 am - 7:00 pm as required.

OceanaGold Waihi will propose a compliance level of 5 mm/s for 95% of the monitored events. This is set to be protective of amenity and

well below levels capable of causing property damage.

We recognise that some residents close to the Gladstone pit may, from time to time, experience a perceived reduction in amenity due to mining activities. As a result, we will extend the Amenity Effect Programme to the Gladstone pit area. Payments will be made to qualifying residents in accordance with the criteria of the existing programme.

AIR QUALITY

If the Waihi North Project is approved, we will be required to comply with consent conditions for air quality set through the regulatory approvals process. This will require OceanaGold Waihi to produce an Air Quality Management Plan.

There are a range of air quality management measures we can take at the Gladstone Open Pit that may be implemented to meet these requirements, including:

- Watering haul roads and using sprinkler systems and water sprays where required.
- Dust collectors and filters on drill rigs and crushers.
- Applying dust suppression product.
- Keeping stockpiles low, so the wind is less likely to spread dust.
- Planting grass to cover long-term stockpiles.
- Planting pasture, shrubs and trees as soon as rehabilitation areas are available.
- Washing vehicles before leaving the site to travel on public roads.

LIGHTING

To provide for mining outside of daylight hours, lighting will need to be established in the Gladstone pit, around the new explosives magazine and in the laydown areas.

All lighting within the pit will be relocated as required, and as mining activities progress. The lighting will be designed and located so that the amount of light is protective of the amenity of nearby residents.

DEWATERING

Some dewatering will be required to lower localised groundwater and manage pit wall runoff from rainfall events.

Diesel or electric powered pumps will be located in the pit, and all pumped water will be directed to the Water Treatment Plant before discharging to the Ohinemuri River.

Small settling ponds, silt fences and diversion drains will also be built around the pit in order to contain the discharge of sediment to watercourses.

GROUND SETTLEMENT

The settlement effects associated with the Gladstone pit are expected to be very small and pose little risk of damage to buildings or infrastructure.

In the very unlikely event that property damage does occur due to settlement, OceanaGold Waihi will mitigate any adverse outcome by applying its 'We Break, We Pay' management measure.

HERITAGE

There are some historic gold mining remains over much of the Gladstone Hill and Winner Hill area, that includes drives, shafts, terraces, and tailings. These remains have been assessed as having only modest value. The area has been heavily modified by the planting of pine trees and prospecting from the 1970s to 1999.

Whilst the effects have been identified as minimal, OceanaGold Waihi will undertake positive actions to address these effects as part of the broader Waihi North Project archaeological and heritage management measures.

PROPERTY DAMAGE

Consent conditions for vibration will be set well below the level where property damage could occur. We know from the community, that there can be concern around what we would do if mine-related activity caused property damage. In recognition of this, we have a procedure in place to assist owners if they believe their property may have been damaged. If it is determined that property damage is attributable to our activities, OceanaGold Waihi will remedy the damage at our cost.

PROPERTY VALUES

The extension of the mine life to 2037, if approved, will continue the positive impact on property values that has been experienced in Waihi since modern mining commenced.

Our property value assessment has identified the potential for the proposed Waihi North Project to have a minor impact on the values of a small number of properties near the Gladstone pit. This is not expected to be long lasting.

The properties identified in the assessment would be eligible for our Top Up management measure in accordance with the criteria of our property programme.

For full details go to waihigold.co.nz or contact OceanaGold Waihi directly.

REHABILITATION

Once the Gladstone pit is no longer being mined, it will be backfilled with tailings.

OceanaGold Waihi is currently proposing in-pit tailings storage using Gladstone open pit. In-pit tailings storage, as the name suggests, is the process of backfilling an open pit mine with tailings. After mining of

Gladstone is complete, the pit will be backfilled with tailings.

The management of tailings is critical to environmental protection. In light of this, the pit would be lined before tailings are stored within. This is to reduce the potential for seepage to enter the ground water system.

Although in-pit tailings storage is different to Waihi's existing tailings storage facilities, the approach to tailings storage management remains the same:

- Robust design and site management including consenting, operational management, monitoring and reporting.
- Regular auditing of conformance with standards and consents requirements at a site and corporate level.
- Independent reviews by third-party experts.

After mining of Gladstone is complete, the pit will be backfilled with tailings, capped with a layer of rock, and topsoil would be re-laid.





TAILINGS STORAGE

Tailings are the finely ground rock left over after the gold and silver have been extracted. A tailings storage facility (TSF) is a structure built for the purposes of storing these tailings and other by-products from the gold and silver extraction process.

The tailings from the Waihi mines are currently stored in tailings impoundments. Waihi's tailings impoundments are carefully engineered rock structures that are designed to withstand significant seismic and weather events. They are made up of several separate layers and are designed to the same specifications as a water-retaining structure.

The current TSF1A, TSF2, and the proposed Gladstone Open Pit tailings storage have insufficient capacity for the tailings volume from processing ore from the proposed Wharekirauponga Underground Mine and Gladstone Pit.

As part of the Waihi North Project, OceanaGold Waihi is proposing to construct a new tailings storage facility (TSF3) immediately east of the current facilities and adding tailings storage within the Gladstone Open Pit.





TAILINGS STORAGE FACILITY 3

TSF3 is proposed to be constructed immediately east of the current facilities.

PREPARATION

Geotechnical investigations have identified that TSF3 construction will firstly require material to be stripped from its footprint. This area is about 60 Ha, and the material will be stockpiled on OceanaGold Waihi land close to Trig Road North. It is likely that this material will be used for future rehabilitation work or for use later in the project.

CONSTRUCTION

To provide for a structure of similar geotechnical integrity as the existing embankments, rock from the Gladstone Open Pit and the already consented Martha Open Pit north wall layback will be required to construct TSF3.

During the initial foundation works, silt control will be provided to avoid dirty water discharging to waterways.

There will also be an option to pump this water to the existing Water Treatment Plant. At a minimum, erosion and sediment control will follow Waikato Regional Council guidelines.

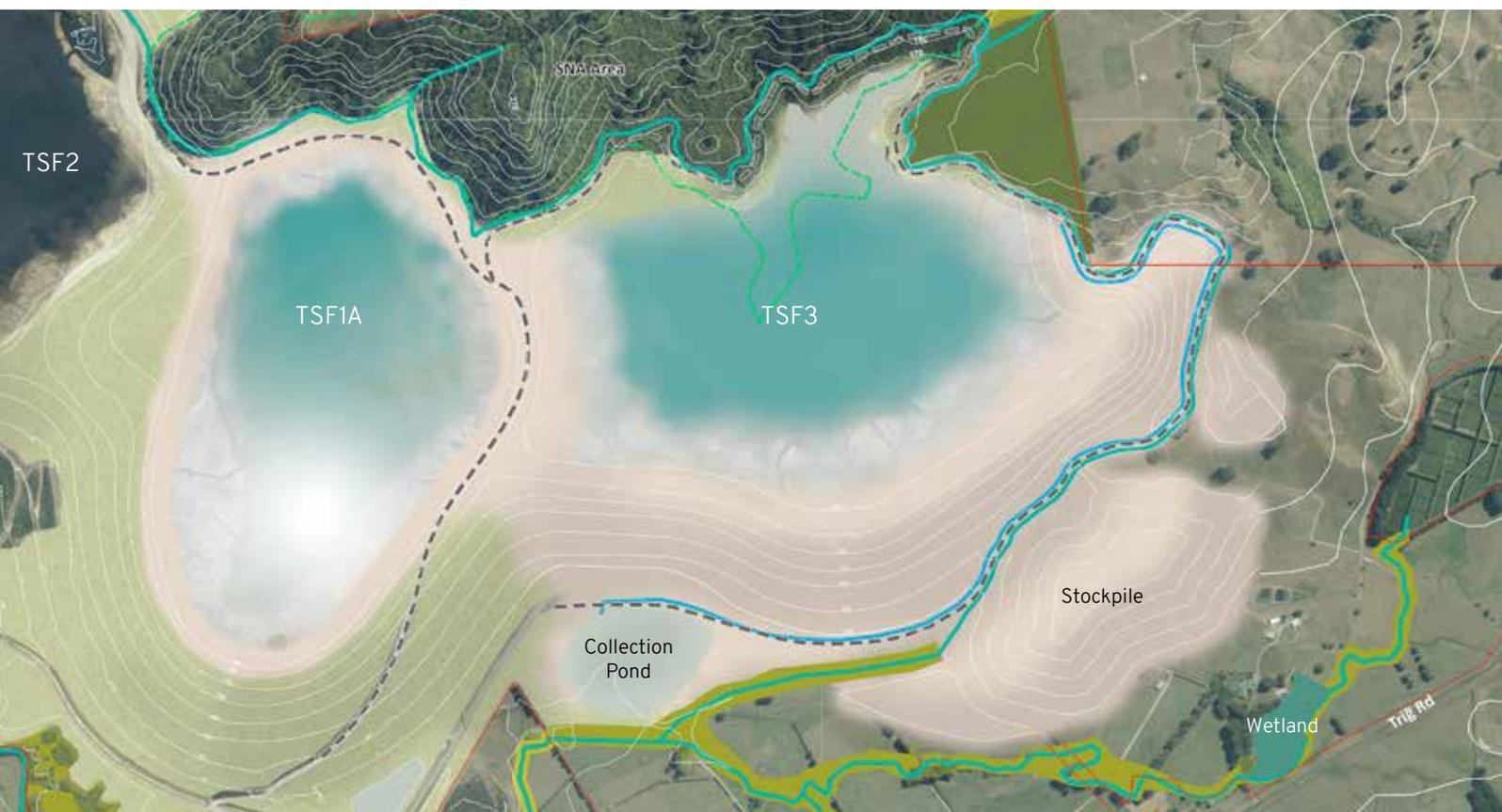
TSF3 construction will also involve building an uphill diversion drain, perimeter drains to capture stormwater runoff, and a perimeter road to provide access for operation and maintenance.

For operations, a fully lined silt collection pond will be constructed in the lowest area of the TSF3 site. All runoff collected in the pond will be pumped to the Water Treatment Plant. The new collection pond will also include an overflow spillway to the Ruahorehore Stream.

TSF3 will be lined to reduce the potential for any seepage to enter

the groundwater system. At the lower levels TSF3 will be lined with be a 1.5 mm thick liner, while at higher levels, a layer of low-permeability, compacted clay is proposed, as is used in the existing TSFs.

All designs and plans are put through a rigorous review process and will need to adhere to all regulatory requirements. If the required consents are granted, the structure will be extensively monitored throughout and beyond its construction phase, and all monitoring data will be annually collated and reported on. The data and reports will be independently reviewed to ensure the ongoing structural integrity and safety of the structure. The independent review findings will be reported to the Council after each review.





TAILINGS STORAGE FACILITY 3 REHABILITATION

The outer walls of the TSF3 embankment will be progressively rehabilitated to pasture during construction. This involves applying a layer of subsoil material, followed by a layer of topsoil and then agricultural seed mix. The land will then be grazed by young dry-cattle.

Native trees and shrubs have been planted on various areas of TSF1A and TSF2. These plantings provide a food source and nesting sites for birds.

Similar planting is planned for TSF3.

Once the deposit of tailings ceases, it will continue to consolidate, and after a relatively short period of time, water quality in the tailings storage pond will reach a level suitable for direct discharge to the Ohinemuri River.

When the tailings impoundments are later closed, they will be partially capped, leaving a wetland and small

pond on the top. The pond outlet structures will allow fish passage from nearby waterways. The ponds will be able to support the range of aquatic organisms typically found in such pond-like environments and wetlands. The riparian planting adjacent to the pond edge will trap sediment and nutrients in the runoff waters and assist in maintaining water quality.





NORTHERN ROCK STACK

Although much of the rock from the Gladstone open pit can be used to construct TSF3, and provide backfill for the Wharekirauponga underground operations. At times, during the mine life there will still be a surplus of rock that requires storage in a separate stack; the proposed NRS.

The NRS will need to be consented to accommodate the life of mine production of surplus rock. It will sit directly north of TSF2 and will have a footprint of approximately 35 Ha depending on mine sequencing. It will be constructed to an approximate height of up to 85 m above the natural topography.

PREPARATORY WORKS

Construction of the NRS will require about 18.2 Ha of topsoil to be stripped and stockpiled, to a height of around 10m, adjacent to Golden Valley Road. An OceanaGold Waihi owned house will need to be relocated.

NRS DESIGN FEATURES

The NRS would incorporate similar design features as the existing TSFs. These features would include a low permeability liner beneath the stack, subsurface seepage drains, leachate collection drains, and capping.

HOURS OF OPERATION

OceanaGold Waihi is proposing that the NRS operates from 7:00 am to 9:00 pm, Mon. to Fri and 7:00 am to 12:00 pm Sat.

NOISE

If the Waihi North Project is approved, we will be required to manage our activities so that we comply with strict noise limits set through the regulatory approvals process.

There are a range of noise management measures that may be implemented at the NRS to meet these requirements, including:

- Equipment selection and maintenance.
- Construction of noise bunds.
- Cladding to reduce conveyor noise.
- Limiting the height of stockpiles.
- Acoustic cladding around potentially noisy machinery.
- Closed board fencing.
- Acoustic noise wall on sections of perimeter noise bunds.

LIGHTING

To allow us to operate outside of daylight hours, lighting will need to be established around the proposed NRS.

The lighting will be designed and located so that the amount of light is protective of the amenity of nearby residents.

PROPERTY VALUES

The extension of mine life to 2037, if approved, will continue to positively impact Waihi property values.

Our property value assessment has identified the potential for the proposed Waihi North Project to have a minor impact on the values of a small number of properties near the NRS. This is not expected to be long-lasting.

The properties identified in the assessment would be eligible for our Top Up management measure in accordance with the criteria of our property programme.

For full details go to waihigold.co.nz or contact OceanaGold Waihi directly.

REHABILITATION

The NRS would be progressively rehabilitated in accordance with the surrounding area. On completion, it would be grass-covered and function as part of the surrounding farmland.





PROCESSING PLANT UPGRADE

Our existing grinding mill is over 50 years old and has been in operation at Waihi since 1987. The Waihi North Project requires the mill to operate for a further 14 years, and at an increased capacity. In order to meet this increased demand, the current mill would be upgraded.

The main components of the process plant upgrade are:

- Replacing the existing mobile and jaw crushers with a modular primary crusher.
- Increasing current milling capacity by installing the mill from the Reefton mine.

Temporary project facilities, such as offices, parking and equipment laydown yards will be required during

the upgrades. These facilities will be built within the current footprint of the Process Plant and will be removed once the upgrade work is complete.

These works would increase ore processing throughput from its current capacity of 1.25 million tonnes a year, up to 2.25 million tonnes a year. A further benefit of these works is that they begin early in

the project's timeframe and provide additional jobs.

Under this proposed project, the Process Plant would continue to operate 24-hours-a-day, seven days a week.

As part of these works, we are currently investigating opportunities to upgrade our Water Treatment Plant.



MANAGING OUR EFFECTS

At OceanaGold Waihi, sustainability is fundamental to the way we do business. We are actively closing a mine at Reefton in the South Island, having successfully and sustainably operated that mine on Forest Park land. The Waihi North Project will demonstrate that it is possible to operate responsibly under conservation land, deliver economic development, and leave a positive legacy.

We will be applying the 'effects management regime' under the Resource Management Act to ensure that any adverse impacts associated with the Waihi North Project are avoided, remedied, or mitigated.

By applying these principles, the effects associated with the Waihi North Project will be appropriately managed. Through this project OceanaGold Waihi will look to identify and implement additional actions that go beyond mitigating effects.

OceanaGold Waihi also operates in close proximity to a number of residential properties and therefore must monitor and meet very stringent limits on the mine's environmental effects.

Technical studies for the Waihi North Project are ongoing. Over the next few months, we will share more in-depth details of the proposed project and how we plan to manage any effects. Community input will contribute to the final project design.

GET IN TOUCH

More information on how we plan to manage our effects can be found on our website.

We welcome your input into developing the Waihi North Project. If you have an idea, concern, question, or opinion, please get in touch.





HOW TO FIND MORE INFORMATION

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www.waihigold.co.nz





OceanaGold Corporation is a gold producer with over 30 years of operating sustainably in New Zealand.

We are committed to mining responsibly, managing our effects and, more broadly, contributing to our host communities and society.



OceanaGold Waihi

43 Moresby Avenue, Waihi.

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JUNE 2021

THE PROPOSED MARTHA OPEN PIT PROJECT

- Expansion of the existing Martha Pit
- A lift on the proposed Tailings Storage Facility 3
- An increase in volume of the proposed Northern Rock Stack



ABOUT US

OceanaGold Corporation is a gold producer with over 30 years of operating sustainably in New Zealand.

The company was founded in New Zealand, at Otago's Macraes operation (which it continues to operate), and has built an international portfolio as one of the most progressive gold miners in the world.

At Waihi, we operate a successful underground mining operation and are actively exploring in the region. We also have underground and surface mines at the Macraes operation in the South Island plus mines in the Philippines and the United States.

We are also actively closing a mine at Reefton in the South Island, having successfully and sustainably operated that mine on Department of Conservation administered Forest Park.

At OceanaGold, sustainability is fundamental to the way we do business. We are committed to mining responsibly, managing our effects and, more broadly, contributing to our host communities and society.

As part of the Martha Open Pit Project, we are making a commitment to work collaboratively with our local communities to create opportunities, build resilience, and leave a positive, long-lasting legacy well beyond the mining life cycle.



ABOUT THE PROPOSED MARTHA OPEN PIT PROJECT

Extending the life of mining in Waihi was a key commitment OceanaGold made to the New Zealand Government when the company acquired the Waihi Operation in 2015. We have invested in an extensive exploration programme and are currently developing a significant resource through Project Martha.

We are now proposing to further extend the life of mining in Waihi through the development of the Martha Open Pit Project. The project will integrate with the proposed Waihi North Project and has three main components:

- An expansion of the existing Martha Pit
- A lift on the proposed Tailings Storage Facility (TSF3).
- An increase in volume for the proposed Northern Rock Stack (NRS).

The Martha Open Pit Project signifies a long-term commitment to, and investment in, the wider region. If consented, the project will extend the life of mining in Waihi.





WORKING TOGETHER

Before we can start any project, we must often obtain approvals such as resource consents.

Following a period of consultation and further investigation into the effects of the proposed project, and dependent on the results, we will lodge Resource Management Act applications for the Martha Open Pit Project with the Hauraki District Council and Waikato Regional Council.

The consenting process will involve a publicly notified process that will require hearings where anyone will be able to have a say on the proposed project. We will keep you informed about where and how you can get involved.

YOUR FEEDBACK

Prior to applying for consent, we want to get the community's feedback on the proposed project.

We will share details of the project with affected and interested stakeholders and provide the opportunity for them to give feedback that will contribute to the final project design.

We believe that understanding and respecting diverse viewpoints is a vital step toward finding common ground and achieving sustainable outcomes. Ultimately, we want the project to proactively contribute to the goals and aspirations of the community.

OUR COMMITMENT

OceanaGold Waihi is committing to contribute to the sustainable development of Waihi. Consultation will help inform us of the community's values and aspirations. From this, we will develop and partner in sustainable community development initiatives.



MARTHA OPEN PIT PROJECT

In Waihi, the modern Martha Mine and underground operations have been operating for over 30 years. OceanaGold Waihi has been the owner since 2015.

As a result of an extensive exploration campaign, we have identified additional ore deposits that we are now looking to mine through the proposed Martha Open Pit Project.

The project has three main components:

- An expansion of the existing Martha Pit.
- A lift on the proposed Tailings Storage Facility (TSF3).
- An increase in volume for the proposed Northern Rock Stack (NRS).

The technical studies for the Martha Open Pit Project are ongoing. We will share more in-depth details of the proposed project as they become available. Community feedback will contribute to the final project design.

REHABILITATION

We acknowledge that the Martha Open Pit Project, if approved, will result in localised impacts on the environment; these will be mitigated in the long term through rehabilitation and remediation activities.

Rehabilitation is a major part of OceanaGold's approach to modern mine planning. Rehabilitation proposals and concept plans were developed well before the commencement of construction for open pit mining in 1987. Those plans have been revised over time. In preparing these plans, the advice and skill of a large range of experts, including soil scientists, hydrologists, engineers, aquatic biology, and water quality specialists have been sought.

The Martha Open Pit Project will be designed to ensure adequate resources for rehabilitation and mine closure are included. Rehabilitation of disturbed areas will progress as areas become available and will be ongoing throughout the life of the project.

THE POST MINING ERA

As part of the Martha Open Pit Project we are making a commitment to work collaboratively with our local communities to create opportunities, build resilience and leave a positive, long-lasting legacy well beyond the mining life cycle.

All OceanaGold Waihi operations have closure plans in place that are reviewed annually; the Martha Open Pit Project will be incorporated into these plans. In preparing this plan we will consult with our stakeholders in relation to economic impact, employment, post-closure environmental impacts, and public health and safety to ensure that what we propose will leave a positive legacy for the community.



Noise Bund



PROPOSED
EXPANDED
MARTHA
OPEN PIT

Union Hill

PROCESSING
PLANT



PROPOSED
NORTHERN
ROCK
STACK

Stockpiles

Golden Valley Road

Trig Road North



Motukehu
(Black Hill)

Baker Road

Fisher Road

Kingsley Road

Waihi Beach Road

Trig Road North

Stockpile

Stockpile

Stockpile

PROPOSED
TSF3

Collection
Pond

TSF1A

TSF2

PROPOSED EXPANDED WAIHI OPERATIONS

THE MARTHA OPEN PIT

The Martha open pit has been successfully operated since 1987. A slip on the North Wall halted production in 2015. Recent exploration work has identified additional ore reserves in and below the pit that may provide the opportunity for mining to return to the Martha open pit. The understanding of this opportunity has advanced to a point where OceanaGold Waihi is ready to share the proposed project with interested and impacted stakeholders and seek their feedback prior to lodging resource consent applications.

ABOUT THE MARTHA OPEN PIT EXPANSION

The development of Martha Open Pit Project involves cutting back the Martha Pit around its full circumference. The pit will generally be about 40 m deeper, 160 m longer and 80 m wider than the existing Martha Pit. Surface mining operations will be by conventional drill, blast, load, and haul methods.

Rock and ore from the Martha Pit will be conveyed using the existing conveyor. Ore will be sent to the existing Processing Plant and rock will be sent to the tailings loadout for construction of a lift on the proposed TSF3. Any excess rock would be stored at the NRS or used for backfilling underground.

If approved, our construction and mining operations will be subject to strict consent conditions that will cover noise, dust, vibration, blasting times, and hours of operation.

HOURS OF OPERATION

OceanaGold Waihi is proposing that the Martha Pit will operate under the same hours as it has in the past, which would be:

- Monday to Friday: 7 am – 7 pm.
- Saturday: 7 am – 12 pm.

We are proposing that Monday to Friday, where urgent works are required, hours of operation in the Martha Pit may be extended to 9 pm.

Details of operations between 7 pm and 9 pm would be recorded and made available to Hauraki District Council on request.

The pit would not operate on Sundays or Public Holidays.

BLASTING

Drilling and blasting in the pit will be required for the removal of ore and rock, although some of the upper areas may be excavated without blasting. OceanaGold Waihi is proposing that blasting occur daily in the Martha Pit within the same hours as it has in the past, which would be between:

- Monday to Friday: 10 am – 3 pm.
- Saturday: 10 am – 12 pm.

ROADING CHANGES

There will need to be some realignments of a number of urban streets, and these have been designed to cause the least possible impact to traffic flow and road users. The Cambridge Road/Bulltown Road junction will need to be realigned, as will a section of Moresby Avenue and Savage Road. The top end of Martha and Haszard Streets will be closed.

RELOCATIONS

The expansion of the Martha Pit will require the relocation of several existing town features, for example, the Cornish Pumphouse will require a further relocation. Other infrastructure would include the Hauraki District Council 'housing for the elderly' flats, the 777C dump truck, 'Stargate' girth gear, the Pit Rim Walkway, Rangatira statue, plus some OceanaGold Waihi-owned residential properties and the Education Centre.

REMOVALS

A number of features will need to be removed to accommodate the expanded pit. These include part of the PYE building (OceanaGold Waihi office), a number of trees around the pit perimeter, including 'Judge's Kauri', and the Grand Junction Powerhouse foundations.

NOISE BUNDS AND SCREENS

Our noise assessment has identified the need for a noise bund in the vicinity of Grey Street and Slevin Street to mitigate the impact of noise on residents near the open pit. While the size of the bund will be greater than the current bund (as its base will be at a lower elevation), it will be about the same height.

The work to construct this bund will necessitate the diversion of a small section of the Eastern Stream and the loss of a wetland within the Slevin Street park area. In order to comply with noise limits, it will also be necessary to construct noise bunds or screens around other sections of the pit perimeter. Investigations into the height, length and form of this noise mitigation is ongoing. As the technical studies progress, we will consult with the community and their feedback will contribute to the final project design.

CENTRAL SCHOOL

The Martha Open Pit Project will bring our operations closer to Waihi Central School. We will work with the school community to ensure that the effects from the construction and operation of the mine will have as little impact on the school as possible.

REHABILITATION

Rehabilitation of the pit surrounds will be progressive and ongoing to minimise the disruption of existing spaces used by the public. At the completion of mining activities, the Martha Pit area will be rehabilitated into parkland suitable for recreational use by the public. The pit will be filled with water to form a lake.



EFFECTS

HERITAGE

The main heritage items identified as being impacted by the Martha Pit are the Cornish Pumphouse, the PYE building, and the Grand Junction mine relics. These impacts have been assessed against the level or severity of the effect. Where impacts are unavoidable, management measures will be put in place to mitigate the effects so as to maintain or enhance the archaeological and heritage value of the Waihi area.

AIR QUALITY

If the Martha Open Pit Project is approved, we will be required to comply with consent conditions for air quality set through the regulatory process. This will require OceanaGold Waihi to produce an Air Quality Management Plan.

There are a range of air quality management measures that may be implemented to meet these requirements, including:

- Watering haul roads and using sprinkler systems and water sprays where required.
- Dust collectors and filters on drill rigs.
- Applying dust suppression product.
- Keeping stockpiles low so wind is less likely to spread dust.
- Planting grass to cover long-term stockpiles.
- Planting pasture, shrubs and trees as soon as rehabilitation areas are available.
- Washing vehicles before leaving site to travel on public roads.

NOISE

If the Martha Open Pit Project is approved, we will be required to manage our activities so that we comply with strict noise limits set through the regulatory process. There are a range of noise management measures that may be

implemented to meet these requirements, including:

- Equipment selection and maintenance.
- Construction and vegetation of noise bunds.
- Cladding to reduce conveyor noise.
- Limiting the height of stockpiles.
- Acoustic cladding around potentially noisy machinery.
- Closed board fencing.
- Acoustic noise wall on some sections of perimeter noise bund.

VIBRATION

OceanaGold Waihi will propose a compliance level of 5 mm/s for 95% of the monitored events. This is set to be protective of amenity and well below levels capable of causing property damage.

We recognise that some residents close to the Martha mine may, from time to time, experience a perceived reduction in amenity due to mining activities. For this reason, we will continue to make Amenity Effect Payments to qualifying residents in an effort to offset this perceived loss of amenity.

LIGHTING

To provide for mining outside of daylight hours, lighting will need to be established in the pit. The lighting will be designed and located so that the amount of light is protective of the amenity of nearby residents.

DEWATERING

The Martha Pit is already dewatered as part of the current underground operations. No additional dewatering will be required in order to facilitate reopening the Martha Pit.

GROUND SETTLEMENT

The settlement effects associated with the Martha Open Pit Project are expected to be very small and pose little risk of damage to buildings or

infrastructure. The existing network of survey markers and piezometers may be extended for the Martha Open Pit Project. They will continue to be monitored and, in the event of an anomaly, investigated and addressed as appropriate.

In the very unlikely event that property damage does occur due to settlement, OceanaGold Waihi will mitigate any adverse outcome by applying its 'We Break, We Pay' policy.

PROPERTY DAMAGE

Consent conditions for vibration will be set well below the level where cosmetic property damage could occur. We know from the community, that there can be concern around what we would do if mine-related activity caused property damage. In recognition of this, we have a procedure in place to assist owners if they believe their property may have been damaged. If it is determined that property damage is attributable to our activities, OceanaGold Waihi will remedy the damage at our cost.

PROPERTY VALUES

The extension of the mine life to 2037, if approved, will continue the positive impact on property values that have been experienced in Waihi since modern mining commenced. Our property value assessment has identified the potential for the proposed project to have a minor impact on the values of a small number of properties near the Martha Pit. This is not expected to be long-lasting.

The properties identified in the assessment would be eligible for our Top Up management measure in accordance with the criteria of our property programme. For full details go to waihigold.co.nz or contact OceanaGold Waihi directly.

TAILINGS STORAGE

Tailings is the finely ground rock left over after the gold and silver have been extracted. A tailings storage facility (TSF) is a structure built for the purposes of storing these tailings and other by products from the gold and silver extraction process.

The tailings from the Waihi mines are stored in tailings impoundments. Waihi's tailings impoundments are carefully engineered rock structures that are designed to withstand significant seismic and weather events. They are made up of several separate layers and are designed to the same specifications as a water-retaining structure.



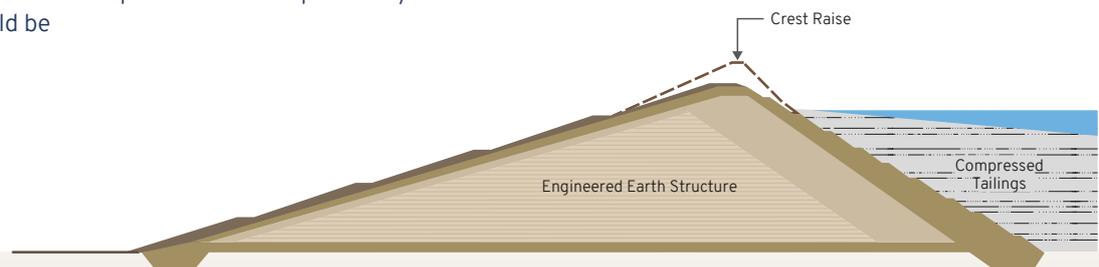
TSF3 CREST RAISE

The current TSF1A and TSF2, and the proposed TSF3, have insufficient capacity for the tailings volume from processing ore from the Martha Pit.

To accommodate the additional required tailings capacity, OceanaGold Waihi is proposing to raise the crest of the proposed TSF3. A lift can be achieved by steepening the slopes at the crest and reducing the TSF dam crest width. The fill material required for the lift would be obtained from the Martha Pit.

If the required consents are granted, the structure will be extensively monitored throughout and beyond its construction phase, and all monitoring data will be annually collated and reported. The data and reports will be independently

reviewed to ensure the ongoing structural integrity and safety of the structure. The independent review findings will be reported to the Waikato Regional Council after each review.



TYPICAL TSF CROSS SECTION



TSF REHABILITATION

The outer walls of the embankment will be progressively rehabilitated to pasture. This involves applying a layer of subsoil material, followed by a layer of topsoil and then agricultural seed mix. The land will then be grazed by young dry-cattle.

Native trees and shrubs have been planted on various areas of Tsf1A and Tsf2. These plantings provide a food source and nesting sites for birds. Similar planting is planned for Tsf3. Once the deposit of tailings ceases, it will continue to consolidate, and after a relatively short period of time, water quality in the tailings storage pond will reach a level suitable for direct discharge to the Ohinemuri River.

When the tailings impoundments are finally closed, they will be partially capped, leaving a wetland and small pond on the top. The pond outlet structures will allow fish passage from nearby waterways. The ponds will be able to support the range of aquatic organisms typically found in such pond-like environments and wetlands. The riparian planting adjacent to the pond edge will trap sediment and nutrients in the runoff waters and help maintain water quality.

NORTHERN ROCK STACK

Although much of the rock from the project can be used to construct the lift on TSF3 and provide backfill for our underground operations. At times, during the mine life there will still be a surplus of rock that requires disposal in a separate stack. To accommodate the additional required rock storage capacity, OceanaGold Waihi is proposing to increase the volume of the proposed NRS. The NRS would increase to cover a footprint of around 35 Ha. This is the area required to accommodate the Martha Pit life of mine production of surplus rock. At its peak, it would be constructed to an approximate height of 85 m above the natural topography.

NRS DESIGN FEATURES

The NRS would incorporate similar design features as the existing TSFs. These features would include a low permeability liner beneath the stack; subsurface seepage drains, leachate collection drains, and capping.

HOURS OF OPERATION

OceanaGold Waihi is proposing that the NRS operates 24/7.

NOISE

If the Martha Open Pit Project is approved, we will be required to manage our activities so that we comply with strict noise limits set through the regulatory process.

There are a range of noise management measures that may be implemented to meet these requirements, including:

- Equipment selection and maintenance.

- Construction of vegetated noise bunds.
- Cladding to reduce conveyor noise.
- Limiting the height of stockpiles.
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- Acoustic noise wall on sections of perimeter noise bunds.

LIGHTING

To allow us to operate outside of daylight hours, lighting will need to be established around the proposed NRS. The lighting will be designed and located so that the amount of light is protective of the amenity of nearby residents.

PROPERTY VALUES

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Our property value assessment has

identified the potential for the proposed project to have a minor impact on the values of a small number of properties near the NRS. This is not expected to be long-lasting.

The properties identified in the assessment would be eligible for our Top Up management measure in accordance with the criteria of our property programme.

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REHABILITATION

Rock stored in the NRS would eventually be used for underground backfill. After which, the NRS would be progressively rehabilitated in accordance with the surrounding area. On completion, it would be grass-covered and function as part of the surrounding farmland.





MANAGING OUR EFFECTS

OceanaGold Waihi operates in close proximity to a number of residential properties and therefore must meet very stringent limits on the mine's environmental effects. We are working on technical studies for the Martha Open Pit Project. Over the next few months, we will share more in-depth details of the proposed project and how we plan to manage any effects.

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A photograph of two miners in a dark tunnel. They are wearing yellow high-visibility work shirts with reflective stripes, blue pants, and hard hats with headlamps. The miner on the left is leaning on a large, dark, cylindrical piece of machinery. The tunnel walls are covered in a dense grid of metal mesh, and various cables and pipes are visible overhead. The lighting is focused on the miners, creating a dramatic effect against the dark background.

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We welcome your input into developing the Martha Open Pit Project. If you have an idea, concern, question, or opinion, please get in touch.

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As part of the Martha Open Pit Project, the Pumphouse will again need to be moved.

OceanaGold Waihi will be seeking community input to guide the final design of the Pumphouse relocation.

